

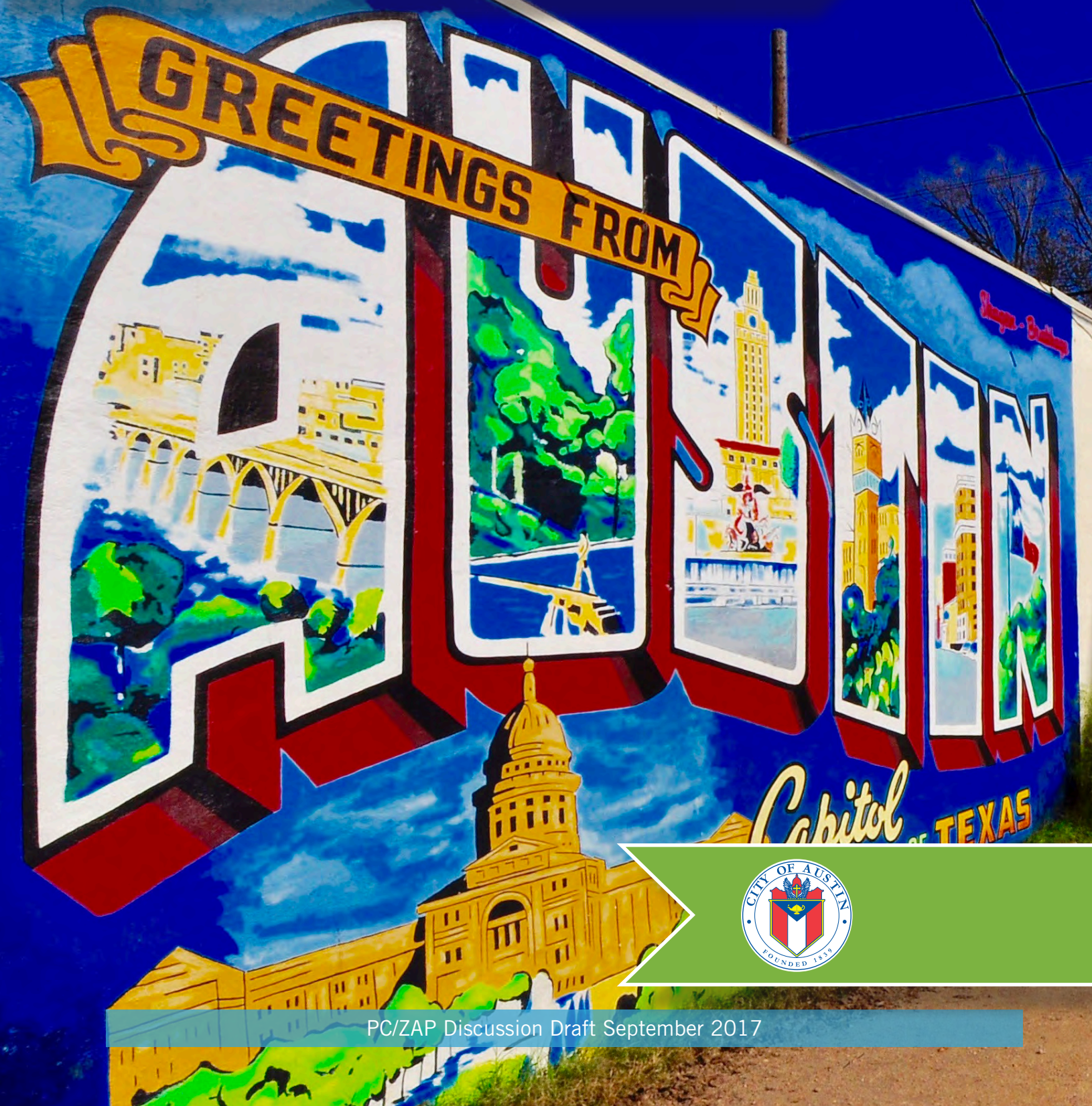
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City of Austin

Land Development Code



PC/ZAP Discussion Draft September 2017

Zoning Code



23-4D-2170 Residential 3C (R3C) Zone

A. General Intent

The R3C zone is a residential zone that provides detached housing and duplexes with accessory dwelling units, and detached. This zone is meant for areas with access to mixed-use and main street zones within walking or biking distance.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Not Applicable

Compatibility Effects in This Zone

Additional Setbacks Not Applicable

Height Stepbacks Not Applicable

B. Sub-Zone(s)

None

C. Lot Size and Intensity

Allowed Building Types	Lot			Building	
	Units per Building (max.)	Width (min.)	Area (min.)	Size (max.) The less restrictive shall apply between:	Additional Standards
Primary Building					
Cottage	1	40' ¹	5,000 sf ¹	0.4 FAR or 2300 sf	23-4E-8030
House	1	50'	5,000 sf	0.4 FAR or 2300 sf	23-4E-8030
Duplex	2	50'	5,000 sf	0.4 FAR or 2300 sf	23-4E-8030
Cottage Corner ²	1	50'	5,000 sf	0.4 FAR or 2300 sf	23-4E-8030
Cottage Court ³	1	100'	10,000 sf	0.4 FAR or 2300 sf	23-4E-8030
Accessory Building					
Accessory Dwelling Unit ³	1	—	—	0.15 FAR up to 1150 sf	23-4E-8030

Notes

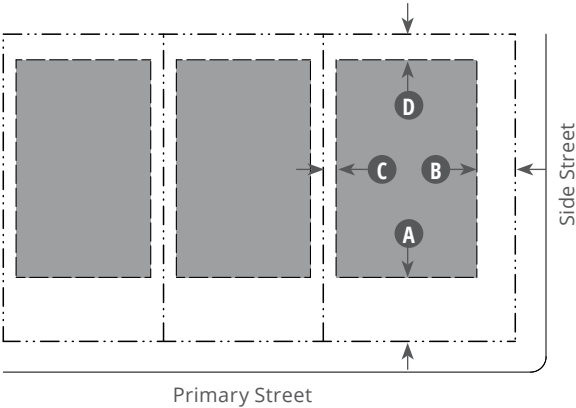
¹ 25' lot width (min.) and 2500 sf area (min.) for lots existing at time of adoption of this Land Development Code.

² Cottage Corner building types shall be located on a corner lot.

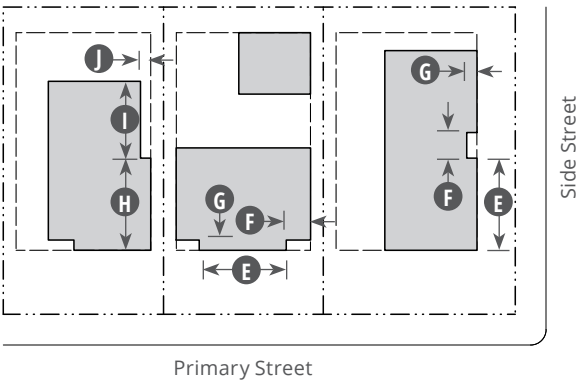
³ Not allowed with cottage court or cottage corner.

R3C

Building Form Diagram



Building Placement Diagram



Key for Diagrams ---- ROW / Lot Line ---- Building Setback Line ■ Building Footprint

D. Building Placement and Form				
Setback (Distance from ROW / Front ¹ Side St. Side Rear Lot Line)	A	B	C	D
Minimum	25'	15'	5'	10' ¹

Notes

Existing buildings located closer are considered conforming.

Where existing adjacent buildings are in front of the minimum front setback or side street setback, the building may be set to align with the facade of the front-most immediately adjacent building.

Additional setback and/or easement may be required where street ROW or utilities easement is required.

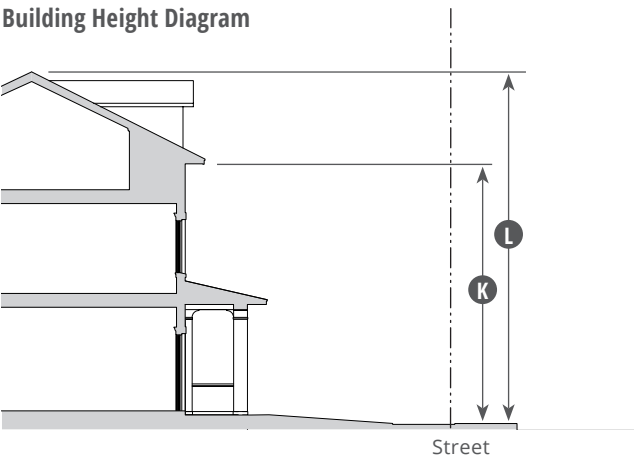
Buildings on a lot shall have a minimum 10' separation.

¹ 5' for accessory building when adjacent to alley.

D. Building Placement and Form (continued)		
Building Width		
Maximum	—	
Building Articulation		
Front and Side Street Facades		
Articulation is required for front and side street walls on additions or new construction.		
Facade length without articulation (max.)	36'	E
Articulation length (min.)	10'	F
Articulation depth (min.)	4'	G
Side Facades		
Articulation is required for side walls on additions or new construction that are 15 feet or taller and located within 9 feet of the side lot line.		
Facade length without articulation (max.)	36'	H
Articulation length (min.)	10'	I
Articulation depth (min.)	4'	J

Key for Subsection D

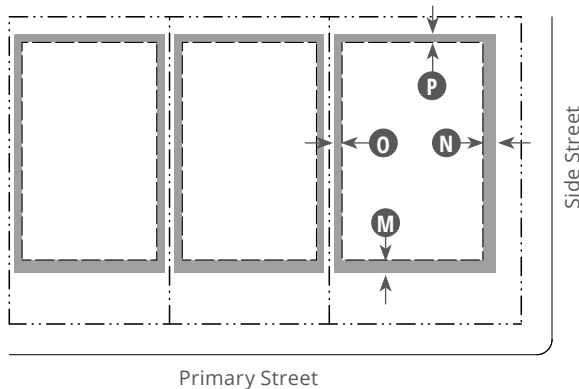
— = No Requirement



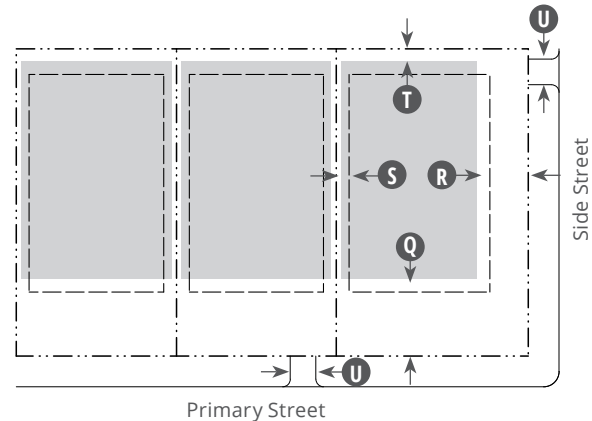
Key for Diagram ---- ROW / Lot Line

E. Height		
Primary and Accessory Buildings		
Within 80' of Front Property Line		
To Eave/Parapet (max.)	22'	K
Overall (max.)	32'	L
Beyond 80' of Front Property Line		
To Eave/Parapet (max.)	15'	
Overall (max.)	22'	
Preservation Incentive		
Height standards, when primary building is preserved, for accessory dwelling unit and/or additions to primary building.		
To Eave/Parapet (max.)	22'	K
Overall (max.)	32'	L
Accessory Structure		
Overall (max.)	12'	

Encroachments Diagram



Parking Diagram



Key for Diagrams

--- ROW / Lot Line

■ Encroachment

--- Building Setback Line

■ Parking Area

F. Encroachments

Encroachment Type	Front (max.) M	Side St. (max.) N	Side (max.) O	Rear (max.) P
Private Frontage	5'	5'	N/A	N/A
Steps and/or ramps to Building Entrance	5'	5'	N/A	N/A
Architectural Features	3'	3'	3'	3'

Encroachments are not allowed within a ROW or public easement.

See Section 23-4E-7050 (Encroachments) for additional standards.

Height Encroachments	Length (max.)
Gable End	30', within 60' of Front Property Line
Dormers	15' combined on each building

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height).

G. Frontages

Private Frontage Type	Front	Side St.	Standards
Common Yard	A	A	23-4E-1040
Porch: Projecting	A	A	23-4E-1050
Porch: Engaged	A	A	23-4E-1060
Stoop	N/A	A	23-4E-1070

Key for Subsections F-G

A = Allowed

N/A = Not Allowed

G. Frontages (continued)

For non-residential uses, loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Pedestrian Access

All units shall have pedestrian access from the primary street, or for corner lots, from the primary street or side street.

H. Parking

Setback	Front Q	Side St. R	Side S	Rear T
Minimum	30' ¹	20'	2'	5'

Parking Driveway

Width	10' max.	U
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Driveways may be shared between adjacent parcels.

When lot has adjacent alley with a ROW width of 20' or greater, parking shall be accessed only from the alley.

Parking Requirements

See Section 23-4D-2040 (Parking Requirements).

Notes

Garages along the front facade of the primary building shall occupy no more than one-third the width of the front facade.

¹ Required parking space(s) shall not be located in front of the front facade of the building.

I. Impervious Cover

Impervious Cover	% (max.)	Standards
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Impervious Cover	45% ¹	23-3D-3
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Building Cover	40%	
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See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.

¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary, the project shall reduce the impervious cover to comply with other requirements of this Title.

J. Required Open Space

Open Space Type	Area per Unit (min.)
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Personal ²	100 sf
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Open Space Location	Width (min.)	Depth (min.)	Area (min.)
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Ground level	10'	10'	100 sf
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Above ground	5'	5'	50 sf
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Notes

Personal open space requirement may be met by ground floor personal open space, upper story balcony, or roof deck.

Personal open space requirements shall not be met by open space provided in required front or side street setbacks.

² The Cottage Court building type has additional open space standards. See Section 23-4E-8020 (Supplementary Cottage Court Building Type Standards).

K. Signage

See Chapter 23-8 (Signage)

L. Additional Requirements

Drainage	See Article 23-10E (Drainage).
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Water Quality	See Article 23-3D (Water Quality).
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Tree Protection	See Article 23-3C (Tree and Natural Area Protection).
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Landscape	See Division 23-4E-4 (Landscape).
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Building Design Standards	See Section 23-4E-8060 (Building Design).
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23-4D-2090 Residential 4A (R4A) Zone

A. General Intent

The R4A zone is a residential zone that provides a variety of detached and attached housing in house-scale buildings with accessory dwelling units. This zone is meant to provide a transition between lower-intensity and higher-intensity residential zones in areas with access to mixed-use and main street zones within walking or biking distance.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Bonus Available

Compatibility Effects in This Zone

Additional Setbacks Not Applicable

Height Stepbacks Not Applicable

B. Sub-Zone(s)

None

C. Lot Size and Intensity

Allowed Building Types	Lot				Building		
	Units per Building (max.)		Width (min.)	Area (min.)	Size (max.)		Additional Standards
	Base Standard	AHBP Bonus ¹			Size (max.)		
					The less restrictive shall apply between:	AHBP Bonus ¹	
Primary Building							
Cottage	1	+0	35' ²	3500 sf ²	0.4 FAR or 2300 sf	+0	23-4E-8030
House	1	+0	40'	4000 sf	0.4 FAR or 2300 sf	+0	23-4E-8030
Duplex	2	+0	40'	4000 sf	0.4 FAR or 2300 sf	+0	23-4E-8030
Multiplex	4	+2	60'	6000 sf	0.6 FAR	+0.2 FAR	23-4E-8030
Cottage Court	1	+0	100'	10,000 sf	0.4 FAR	+0	23-4E-8030
Accessory Building							
Accessory Dwelling Unit	1	+0	—	—	0.15 FAR up to 1150 sf	+0	23-4E-8030

Notes

¹ To receive affordable housing bonus, a project must comply with Article 23-3E (Affordable Housing).

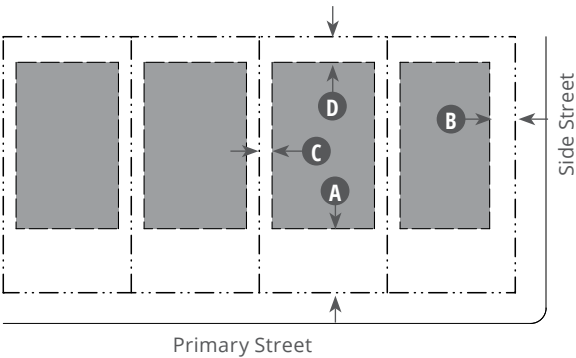
² 25' lot width (min.) and 2500 sf area (min.) for lots existing at time of adoption of this Land Development Code.

Key for Subsection C

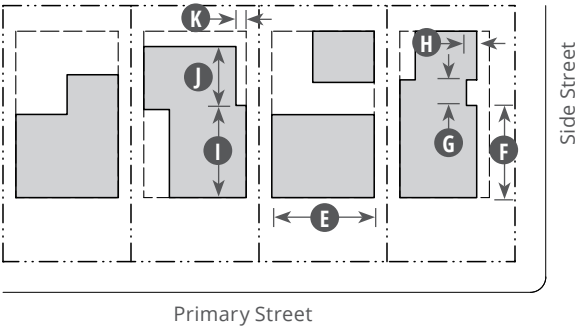
— = No Requirement

R4A

Building Form Diagram



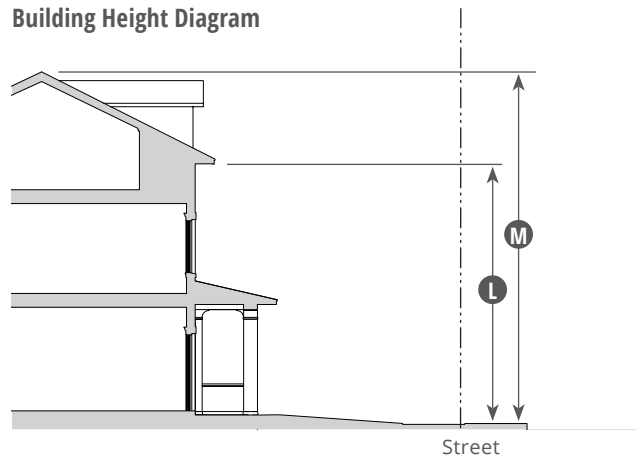
Building Placement Diagram



Key for Diagrams --- ROW / Lot Line --- Building Setback Line ■ Building Footprint

D. Building Placement and Form				
Setback (Distance from ROW / Lot Line)	Front A	Side St. B	Side C	Rear D
Minimum	25'	15'	5'	10' ¹
Notes				
Existing buildings located closer are considered conforming.				
Where existing adjacent buildings are in front of the minimum front setback or side street setback, the building may be set to align with the facade of the front-most immediately adjacent building.				
Additional setback and/or easement may be required where street ROW or utilities easement is required.				
Buildings on a lot shall have a minimum 10' separation.				
¹ 5' for accessory building when adjacent to alley.				

D. Building Placement and Form (continued)		
Overall Building Envelope		
Width (max.)	60'	E
Building Articulation		
Front and Side Street Facades		
Articulation is required for front and side street walls on additions or new construction.		
Facade length without articulation (max.)	48'	F
Articulation length (min.)	10'	G
Articulation depth (min.)	4'	H
Side Facades		
Articulation is required for side walls on additions or new construction that are 15 feet or taller and located within 9 feet of the side lot line.		
Facade length without articulation (max.)	48'	I
Articulation length (min.)	10'	J
Articulation depth (min.)	4'	K

Building Height Diagram**Key for Diagram**

--- ROW / Lot Line

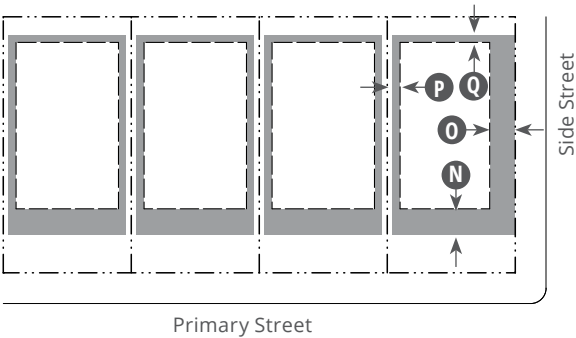
E. Height

Primary and Accessory Buildings	Base Standard	AHBP Bonus ¹	
Within 80' of Front Property Line			
To Eave/Parapet (max.)	22'	+0'	L
Overall (max.)	32'	+0'	M
Beyond 80' of Front Property Line			
To Eave/Parapet (max.)	15'	+0'	
Overall (max.)	22'	+0'	
Preservation Incentive			
Height standards, when primary building is preserved, for accessory dwelling unit and/or additions to primary building.			
To Eave/Parapet (max.)	22'	+0'	L
Overall (max.)	32'	+0'	M
Accessory Structure			
Overall (max.)	12'		

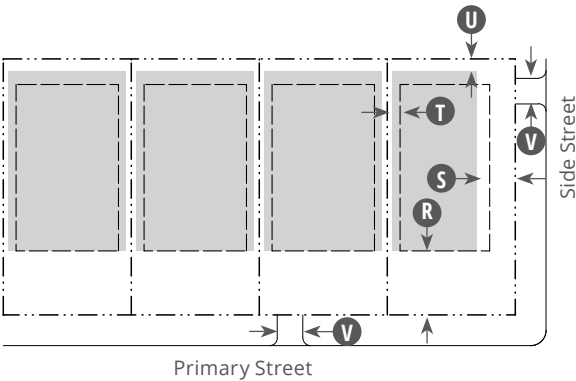
Notes

¹ To receive affordable housing bonus, a project must comply with Article 23-3E (Affordable Housing).

Encroachments Diagram



Parking Diagram



Key for Diagrams

--- ROW / Lot Line

■ Encroachment

--- Building Setback Line

■ Parking Area

F. Encroachments

Encroachment Type	Front (max.) N	Side St. (max.) O	Side (max.) P	Rear (max.) Q
Private Frontage	10'	10'	N/A	N/A
Steps and/or ramps to Building Entrance	5'	5'	N/A	N/A
Architectural Features	3'	3'	3'	3'

Encroachments are not allowed within a street ROW, alley ROW, or across a Lot Line.

See Section 23-4E-7050 (Encroachments) for additional standards.

Height Encroachments Length (max.)

Gable End 30', within 60' of Front Property Line

Dormers 15' combined on each building

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height).

G. Frontages

Private Frontage Type	Front	Side St.	Standards
Common Yard	A	A	23-4E-1040
Porch: Projecting	A	A	23-4E-1050
Porch: Engaged	A	A	23-4E-1060
Stoop	A	A	23-4E-1070

Key for Subsections F-G

A = Allowed

N/A = Not Allowed

G. Frontages (continued)

For non-residential uses, loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Pedestrian Access

All units shall have pedestrian access from the primary street, or for corner lots, from the primary street or side street.

H. Parking

Setback	Front R	Side St. S	Side T	Rear U
Minimum	25' ¹	15'	2'	5'

Parking Driveway

Width 10' max. V

Driveways may be shared between adjacent parcels.

When lot has adjacent alley with a ROW width of 20' or greater, parking shall be accessed only from the alley.

Parking Requirements

See Section 23-4D-2040 (Parking Requirements).

Notes

Garages along the front facade of the primary building shall occupy no more than one-third the width of the front facade.

¹ Required parking space(s) shall not be located in front of the front facade of the building.

I. Impervious Cover

Impervious Cover	% (max.)	Standards
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Impervious Cover	45% ¹	23-3D-3
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Building Cover	40%	
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See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.

¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary, the project shall reduce the impervious cover to comply with other requirements of this Title.

J. Required Open Space

Open Space Type	Area per Unit (min.)
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Personal ²	100 sf
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Area Requirements	Width (min.)	Depth (min.)	Area (min.)
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Ground level	10'	10'	100 sf
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Above ground	5'	5'	50 sf
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Notes

Personal open space requirement may be met by ground floor personal open space, upper story balcony, or roof deck.

Personal open space requirements shall not be met by open space provided in required front or side street setbacks.

² The Cottage Court building type has additional open space standards. See Section 23-4D-2220 (Supplementary Cottage Court Building Type Standards).

K. Signage

See Chapter 23-8 (Signage)

L. Additional Requirements

Drainage	See Article 23-10E (Drainage).
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Water Quality	See Article 23-3D (Water Quality).
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Tree Protection	See Article 23-3C (Tree and Natural Area Protection).
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Landscape	See Division 23-4E-4 (Landscape).
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Building Design Standards	See Section 23-4E-8060 (Building Design).
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23-4D-3100 Residential Multi-Unit 4A (RM4A) Zone

A. General Intent

The RM4A zone is an urban residential zone that provides a variety of attached multi-unit housing in block-scale and rowhouse buildings with accessory dwelling units. This zone is meant to provide a transition between medium-intensity residential zones and higher-intensity residential zones or mixed-use and main street zones.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Bonus Available

Compatibility Effects in This Zone

Additional Setbacks Triggered by Residential House-Scale

Height Stepbacks Triggered by Residential House-Scale

B. Sub-Zone(s)

None

C. Lot Size and Intensity

Allowed Building Types	Lot			Additional Standards
	Units per Acre (max.)	Width (min.)	Area (min.)	
Primary Building				
Rowhouse: Large ¹	—	18'	1800 sf	23-4E-8030
Block Form	—			23-4E-8030
Accessory Building				
Accessory Dwelling Unit	1 ²	—	—	23-4E-8030

Notes

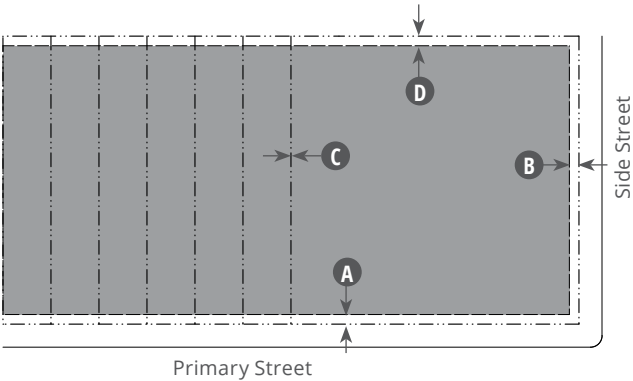
The floorplate of any floor may not be larger than that of the floor below.

¹ Shall be built in a run with a min. of 4 and a max. of 12 attached buildings. Entire run shall not exceed 250' in length.

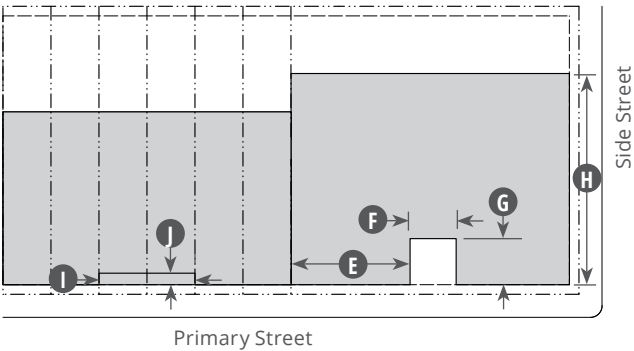
² Number describes units per building rather than units per acre.

RM4A

Building Placement Diagram



Building Form Diagram



Key for Diagrams --- ROW / Lot Line --- Building Setback Line ■ Building Footprint

D. Building Placement and Form				
Setback (Distance from ROW / Lot Line)	Front A	Side St. B	Side C	Rear D
Minimum ¹	5'	5'	0'	5'
Portions of building adjacent to or across an alley less than 20 feet in width from Residential House-Scale Zone				
Lots ≤ 75' wide	5'	5'	15' ²	30' ²
Lots > 75' wide	5'	5'	20' ²	30' ²

Notes

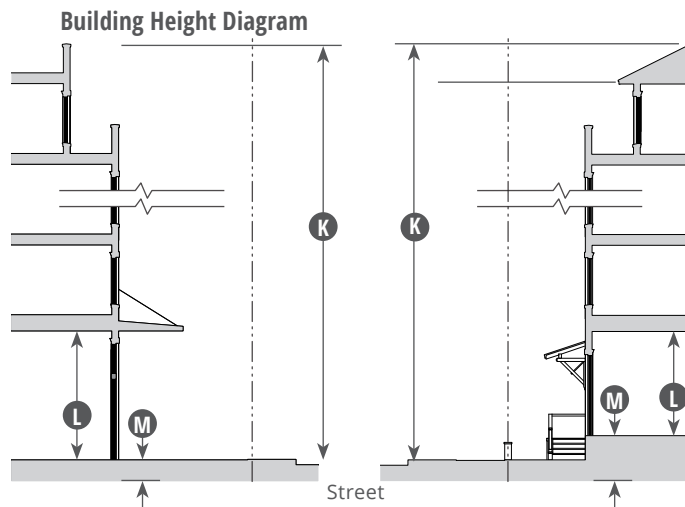
¹ Additional setback and/or easement may be required where street ROW or utilities easement is required.

² Landscape buffer required where additional setback are required. See Section 23-4E-4090 (Intermittent Visual Obstruction Buffer) for specific landscape requirements.

Where existing adjacent buildings are in front of the minimum front setback or side street setback, the building may be set to align with the facade of the front-most immediately adjacent building.

Buildings on a lot shall have a minimum 10' separation.

D. Building Placement and Form (continued)		
Building Articulation		
Front and Side Street Facades, All Stories		
Articulation is required for front and side street walls on additions or new construction.		
Facade length without articulation (max.)	200'	E
Articulation length (min.)	24'	F
Articulation depth (min.)	24'	G
Front and Side Street Facades, All Stories Except Ground Floor		
Articulation is required for front and side street walls on additions or new construction.		
Facade length without articulation (max.)	150'	H
Articulation length (min.)	10'	I
Articulation depth (min.)	4'	J
Side Facades, All Stories Except Ground Floor		
Articulation is required for side walls on additions or new construction that are 15 feet or taller and located within 9 feet of the side lot line.		
Facade length without articulation (max.)	150'	
Articulation length (min.)	10'	
Articulation depth (min.)	4'	

**Key for Diagram**

--- ROW / Lot Line

⚡ Max. number of allowed stories may exceed diagram

E. Height

Primary Building	Base Standard	AHBP Bonus ¹
Overall (max.)	50'	+30' K
Accessory Building		
To Eave/Parapet (max.)	15'	
Overall (max.)	22'	
Accessory Structure		
Overall (max.)	12'	

Notes

¹ To receive affordable housing bonus, a project must comply with Article 23-3E (Affordable Housing).

Building Height Stepback

Stepbacks are required for portions of building adjacent to, across an alley from, or across a ROW less than 60' wide from a Residential House-Scale Zone.

Distance from Lot Line of Triggering Property	Height (max.)
≤ 25'	18'
25'–50'	35'
> 50'	Set by zone standards

E. Height (continued)**Primary Building, Ground Floor**

Floor-to-Ceiling Height ²	14' min.	L
Finish Floor Height Above Curb for ground floor residential use within 10' of a street ROW ^{2, 3, 4}	18"	M

Notes

² Buildings existing at the time of adoption of this Land Development Code and additions to those buildings are exempt.

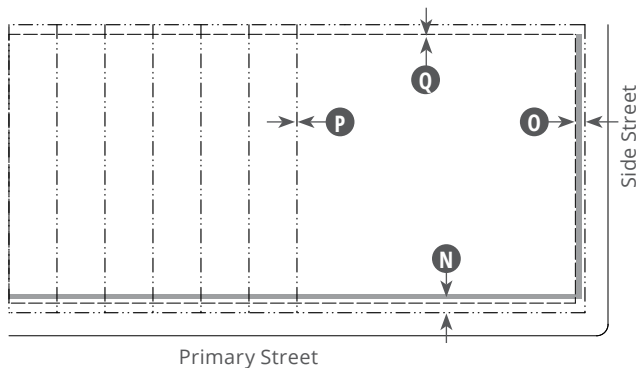
³ Primary buildings are exempt on lots where the existing grading slopes down and away from the street.

⁴ Does not apply to lobbies used to access residential units or amenity areas accessible to residential units.

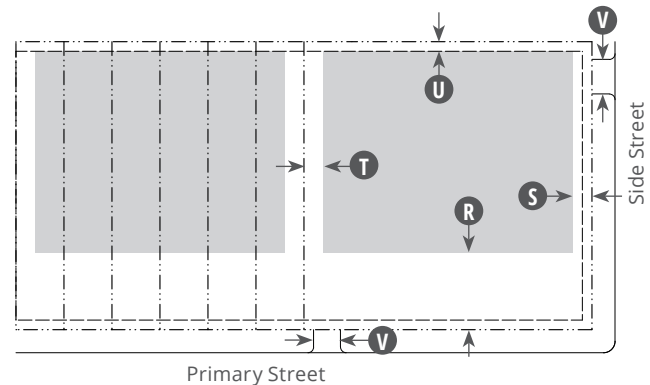
Key for Subsection E

— = No Requirement

Encroachments Diagram



Parking Placement Diagram



Key for Diagrams

--- ROW / Lot Line

■ Encroachment

--- Building Setback Line

■ Parking Area

F. Encroachments

Encroachment Type	Front (max.) N	Side St. (max.) O	Side (max.) P	Rear (max.) Q
Architectural Features	3'	3'	N/A	N/A

Encroachments are not allowed within a ROW or public easement.

See Section 23-4E-7050 (Encroachments) for additional standards.

Height Encroachments

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height).

G. Frontages

Private Frontage Type	Front	Side St.	Standards
Stoop	A	A	23-4E-1070
Dooryard	A	A	23-4E-1080
Terrace ¹	A	A	23-4E-1100
Lightwell ¹	A	A	23-4E-1110

For non-residential uses, loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

¹ Allowed only when necessary to accommodate grade change.

Pedestrian Access

All units shall have pedestrian access from the primary street, or for corner lots, from the primary street or side street.

H. Parking

Setback (min.)	Front R	Side St. S	Side T	Rear U
Ground Floor	40'	10'	10'	5'
Upper Floor	40'	40'	10'	5'
Parking Driveway	≤ 40 spaces		> 40 spaces	
Width	14' max.		18' max.	

Driveways may be shared between adjacent parcels.

When lot has adjacent alley with a ROW width of 20' or greater, parking shall be accessed only from the alley.

Parking Requirements

See Section 23-4D-3040 (Parking Requirements).

I. Impervious Cover

Impervious Cover	% (max.)	Standards
Impervious Cover	90% ¹	23-3D-3
Building Cover	80%	

See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.

See Section 23-4E-4080 (Functional Green) for additional standards for projects with impervious cover exceeding 80%.

¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary, the development shall reduce the impervious cover to comply with other requirements of this Title.

Key for Subsections F-G

A = Allowed

N/A = Not Allowed

J. Required Open Space			
Open Space Type	Width (min.)	Depth (min.)	Percentage (min.)
Common ²	8'	10'	5% gross site area

Notes

Common open space requirement may be met by ground floor, upper floor, and/or roof common open space.

Common open space requirements shall not be met by open space provided in required front or side street setbacks, except when provided as an open space as set forth in Division 23-4C-2 (Civic and Open Spaces).

² The Courtyard building type has additional open space standards. See Section 23-4D-2210 (Supplementary Courtyard Building Type Standards).

K. Signage

See Chapter 23-8 (Signage).

L. Additional Requirements

Drainage	See Article 23-10E (Drainage).
Water Quality	See Article 23-3D (Water Quality).
Tree Protection	See Article 23-3C (Tree and Natural Area Protection).
Landscape	See Division 23-4E-4 (Landscape).
Building Design Standards	See Section 23-4E-8060 (Building Design).

23-4D-4070 Mixed-Use 1B (MU1B) Zone

A. General Intent

The MU1B zone is a mixed-use zone that allows residential, office and a broad array of commercial uses in detached house-scale buildings. This zone is meant to provide housing, office or service employment, and retail and entertainment within walking distance of low-intensity residential neighborhoods, or to maintain areas with an existing pattern of commercial uses in house-scale buildings.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Bonus Available

Compatibility Effects in This Zone

Additional Setbacks Not Applicable

Height Stepbacks Not Applicable

B. Sub-Zone(s)

None

C. Lot Size and Intensity

Allowed Building Types	Lot				Building		
	Units per Building (max.)				Size (max.)		
	Base Standard	AHBP Bonus ¹	Width (min.)	Area (min.)	Base Standard The less restrictive shall apply between:	AHBP Bonus ¹	Additional Standards
Primary Building							
Cottage	1	+0	35' ²	3500 sf ²	FAR 0.4 or 2300 sf	+0	23-4E-8030
House	1	+0	40' ²	4000 sf ²	FAR 0.4 or 2300 sf	+0	23-4E-8030
Duplex	2	+0	40' ²	4000 sf ²	FAR 0.4 or 2300 sf	+0	23-4E-8030
Multiplex: Medium	4	+4	60'	6000 sf	0.6 FAR	+0.2 FAR	23-4E-8030
Cottage Court	1	+0	100'	6000 sf	0.4 FAR	+0	23-4E-8030
Accessory Building							
Accessory Dwelling Unit	1	+0	—	—	0.15 FAR up to 1150 sf	+0	23-4E-8030

Notes

¹ To receive affordable housing bonus, a project must comply with Article 23-3E (Affordable Housing).

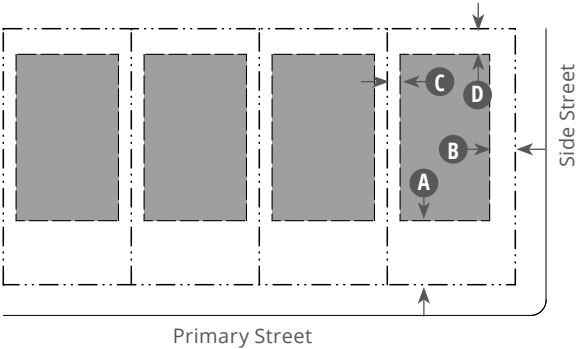
² 25' lot width (min.) and 2500 sf area (min.) for lots existing at time of adoption of this Land Development Code.

Key for Subsection C

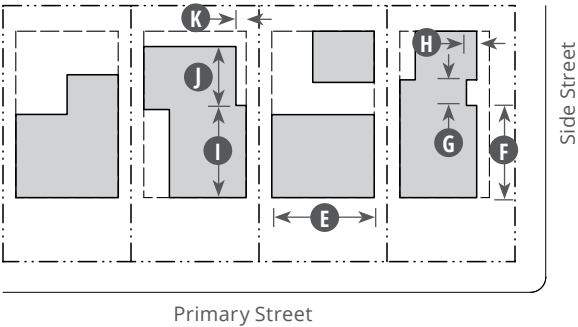
— = No Requirement

MU1B

Building Form Diagram



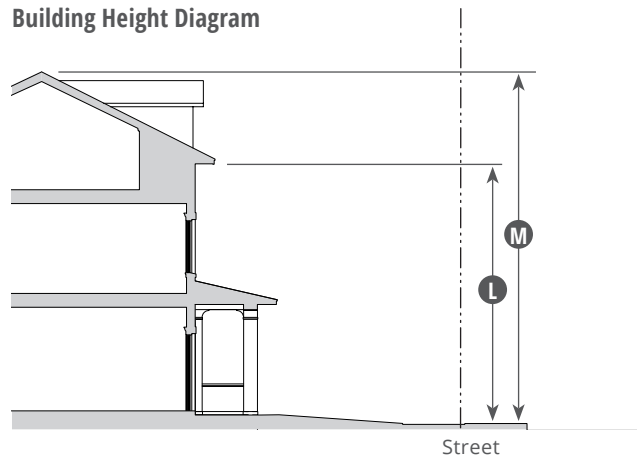
Building Placement Diagram



Key for Diagrams ---- ROW / Lot Line --- Building Setback Line ■ Building Footprint

D. Building Placement and Form				
Setback (Distance from ROW / Lot Line)	Front A	Side St. B	Side C	Rear D
Minimum	25'	15'	5'	30' ¹
Notes				
Existing buildings located closer are considered conforming.				
Where existing adjacent buildings are in front of the minimum front setback or side street setback, the building may be set to align with the facade of the front-most immediately adjacent building.				
Buildings on a lot shall have a minimum 10' separation.				
Additional setback and/or easement may be required where street ROW or utilities easement is required.				
¹ 5' for accessory building when adjacent to alley.				

D. Building Placement and Form (continued)		
Overall Building Envelope		
Width (max.)	60'	E
Building Articulation		
Front and Side Street Facades		
Articulation is required for front and side street walls on additions or new construction.		
Facade length without articulation (max.)	48'	F
Articulation length (min.)	10'	G
Articulation depth (min.)	4'	H
Side Facades		
Articulation is required for side walls on additions or new construction that are 15 feet or taller and located within 9 feet of the side lot line.		
Facade length without articulation (max.)	48'	I
Articulation length (min.)	10'	J
Articulation depth (min.)	4'	K

Building Height Diagram**Key for Diagram**

--- ROW / Lot Line

E. Height**Primary and Accessory Buildings****Within 80' of Front Property Line**

To Eave/Parapet (max.)	22'	L
Overall (max.)	32'	M

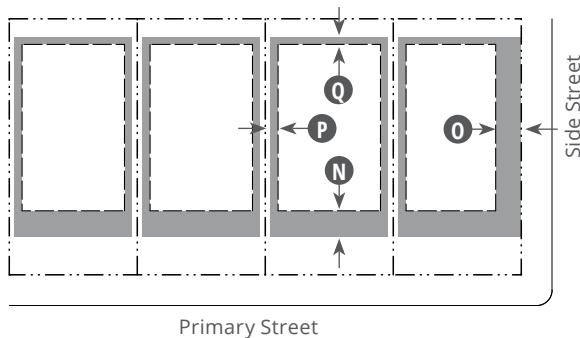
Beyond 80' of Front Property Line

To Eave/Parapet (max.)	15'
Overall (max.)	22'

Accessory Structure

Overall (max.)	12'
----------------	-----

Encroachments Diagram



Key for Diagrams

--- ROW / Lot Line

■ Encroachment

F. Encroachments				
Encroachment Type	Front (max.) N	Side St. (max.) O	Side (max.) P	Rear (max.) Q
Private Frontage	10'	10'	N/A	N/A
Steps and/or ramps to Building Entrance	5'	5'	N/A	N/A
Architectural Features	3'	3'	3'	3'

Encroachments are not allowed within a street ROW, alley ROW, or across a Lot Line.

See Section 23-4E-7050 (Encroachments) for additional standards.

Height Encroachments

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height).

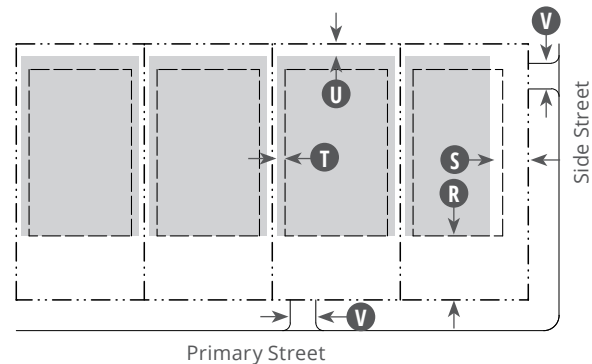
G. Frontages			
Private Frontage Type	Front	Side St.	Standards
Common Yard	A	A	23-4E-1040
Porch: Projecting	A	A	23-4E-1050
Porch: Engaged	A	A	23-4E-1060
Stoop	A	A	23-4E-1070

For non-residential uses, loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Pedestrian Access

All units shall have pedestrian access from the primary street, or for corner lots, from the primary street or side street.

Parking Diagram



--- Building Setback Line

■ Parking Area

H. Parking				
Setback	Front R	Side St. S	Side T	Rear U
Minimum	25' ¹	15'	2'	5'
Parking Driveway				
Width	10' max.			V

Driveways may be shared between adjacent parcels.

When lot has adjacent alley with a ROW width of 20' or greater, parking shall be accessed only from the alley.

Parking Requirements

See Section 23-4D-4040 (Parking Requirements).

Notes

Garages along the front facade of the primary building shall occupy no more than one-third the width of the front facade.

¹ Required parking space(s) shall not be located in front of the front facade of the building.

Key for Subsections F-G

A = Allowed

N/A = Not Allowed

I. Impervious Cover		
Impervious Cover	% (max.)	Standards
Impervious Cover	60% ¹	23-3D-3
Building Cover	40%	
See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.		
¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary, the project shall reduce the impervious cover to comply with other requirements of this Title.		

J. Required Open Space			
Open Space Type	Area per Unit (min.)		
Personal ²	100 sf		
Area Requirements	Width (min.)	Depth (min.)	Area (min.)
Ground level	10'	10'	100 sf
Above ground	5'	5'	50 sf

Notes

Personal open space requirement may be met by ground floor personal open space, upper story balcony, or roof deck.

Personal open space requirements shall not be met by open space provided in required front or side street setbacks.

² The Cottage Court building type has additional open space standards. See Section 23-4D-2220 (Supplementary Cottage Court Building Type Standards).

K. Signage	
See Chapter 23-8 (Signage).	
L. Additional Requirements	
Drainage	See Article 23-10E (Drainage).
Water Quality	See Article 23-3D (Water Quality).
Tree Protection	See Article 23-3C (Tree and Natural Area Protection).
Landscape	See Division 23-4E-4 (Landscape)
Building Design Standards	See Section 23-4E-8060 (Building Design).

23-4D-4100 Mixed-Use 2A (MU2A) Zone

A. General Intent

The MU2A zone is a mixed-use zone that allows residential, low-intensity office, service, and retail uses. This zone is meant to provide convenient access to employment, shopping and daily services and neighborhood amenities for nearby residents.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Bonus Available

Compatibility Effects in This Zone

Additional Setbacks Triggered by Residential House-Scale and Residential Multi-Unit

Height Stepbacks Triggered by Residential House-Scale

B. Sub-Zone(s)

None

C. Lot Size and Intensity

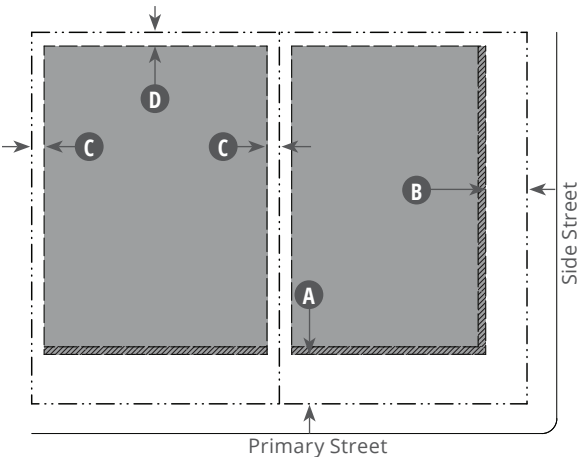
Lot Size	Area	Width
Minimum	5,750 sf	50'
Intensity	Base Standard	AHBP Bonus ¹
Dwelling Units per Acre (max.)	12	+24
FAR (max.)	0.5	+0

Notes

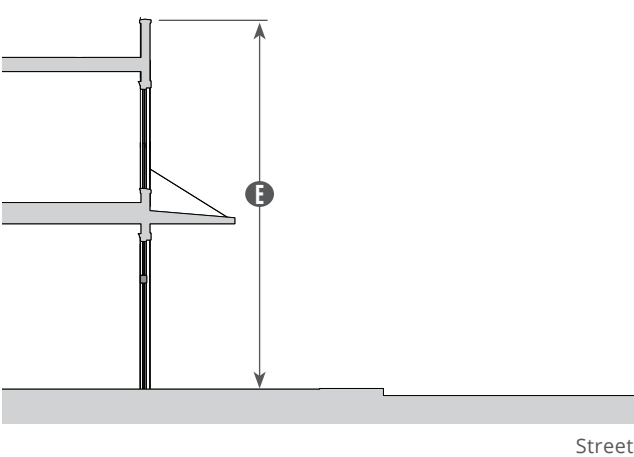
¹ To receive affordable housing bonus, project must comply with Article 23-3E (Affordable Housing).

MU2A

Building Placement Diagram



Building Height Diagram



Key for Diagrams

- ROW / Lot Line
- Building Setback Line

Buildable Area

D. Building Placement and Form				
Setback (Distance from ROW / Lot Line)	Front A	Side St. B	Side C	Rear D
Minimum	20'	15'	5'	5'
Portions of building adjacent to, across an alley less than 20 feet in width from Residential House-Scale Zone				
Lots ≤ 75' wide	20'	15'	15' ¹	30' ¹
Lots > 75' wide	15'	15'	20' ¹	30' ¹

¹ Landscape buffer required where additional setbacks are required. See Section 23-4E-4090 (Intermittent Visual Obstruction Buffer) for specific landscape requirements.

Primary Building Facade at Minimum Front and Side Street Setback

Minimum ² 40%

² Where there is not enough building frontage to meet the standards, an active private frontage is required in compliance with Subsection (G).

See exemptions in Subsection 23-4D-4050 (B)(1).

Building Entrances

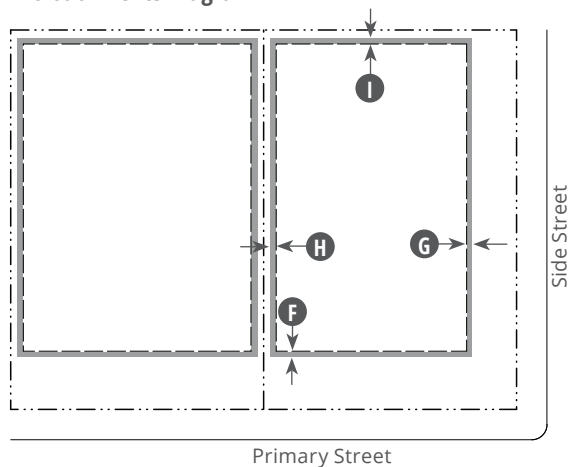
Pedestrian entrance must face and connect directly to the primary street.

Pedestrian entrances must be provided at least every 75' along the elevation facing the primary street.

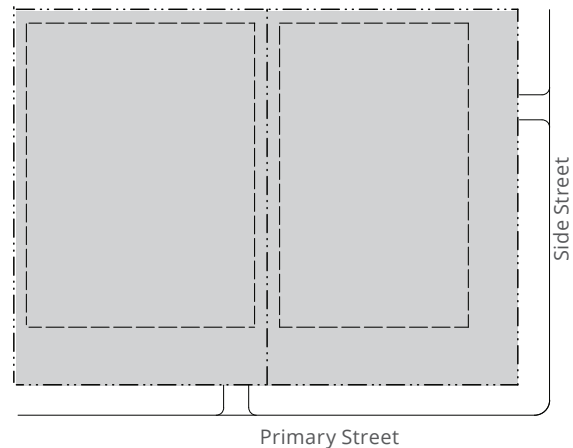
See exemptions in Subsection 23-4D-4050 (B)(2).

E. Height	
Primary Building	
Overall (max.)	35' E
Building Height Stepback	
Stepbacks required for portions of building adjacent to, across an alley from, or across a ROW less than 60' wide from a Residential House-Scale Zone.	
Distance from Lot Line of Triggering Property	Height (max.)
≤ 25'	18'
> 25'	Set by zone standards

Encroachments Diagram



Parking Diagram



Key for Diagrams

--- ROW / Lot Line

--- Building Setback Line

■ Encroachment

■ Parking Area

F. Encroachments

Encroachment Type	Front (max.) F	Side St. (max.) G	Side (max.) H	Rear (max.) I
Architectural Features ¹	2'	2'	2'	2'
Uncovered Steps, Porch, or Stoop ²	3'	3'	3'	3'

See also Section 23-4E-7050 (Encroachments).

¹ Does not apply to a feature required for a passive energy design. See ramp exceptions in Subsection 23-4E-7050(B)(7).² 3' (max.) above ground.

Height Encroachment

See Section 23-4E-7050(C) (Encroachments Above Maximum Height).

G. Frontages

Active Public Frontage

The portion of a building facade designated for active private frontage may be setback a maximum 20' from the setback line. Maximum 30% of active private frontage may be set back up to 30'.

See Subsection 23-4D-4050 (B)(3) for required amenities.

H. Parking

Parking Requirements

See Section 23-4D-4040 (Parking Requirements).

Off-Street Parking Location Standards

Prohibited between the front property line and the portion of the building facade that satisfies the building placement requirements of Subsection (D).

Allowed between building and side property line, with screening in compliance with Division 23-4E-3 (Parking and Loading).

For sites ≤ 400' see Subsection 23-4D-4050 (C).

Parking Location Standards - Corner Sites

Surface parking is prohibited within the rectangular area formed by the setback lines as measured 100' back from the curb line corners (or the intersection of the curb line tangents), unless:

A landscaped buffer is provided between the sidewalk and parking area in compliance with Division 23-4E-4 (Landscape); and

100% of the building frontage that faces the primary street is built to the property line.

I. Impervious Cover		
Impervious Cover	% (max.)	Standards
Impervious Cover	60% ¹	23-3D-3
Building Cover	40%	
See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.		
¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary the project shall reduce the impervious cover to comply with other requirements of this Title.		
J. Open Space		
Open Space Type	Size (min.)	
Personal Open Space		
Multi-Family Uses < 10 units	5% gross site area in compliance with Section 23-4E-6240 (Multi-Family)	
Common Open Space		
Multi-Family Uses ≥ 10 units	5% gross site area	
All Other Non-Residential Uses > 2 acres	5% gross site area	
Civic Open Space		
All Sites ≥ 4 acres	10% net development acreage in compliance with Section 23-4C-1040 (Civic Open Space)	
K. Signage		
See Chapter 23-8 (Signage).		

L. Additional Standards	
Additional Standards	See Division 23-4E-7 (Additional Standards)
Affordable Housing	See Article 23-3E (Affordable Housing).
Building Design Standards	See Section 23-4E-8060 (Building Design Standards)
Drainage	See Article 23-10E (Drainage)
Landscape	See Division 23-4E-4 (Landscape)
Outdoor Lighting	See Article 23-4E-2 (Outdoor Lighting).
Tree Protection	See Article 23-3C (Tree Protection)
Water Quality	See Article 23-3D (Water Quality)

M. Additional Compatibility
Property adjacent to a Rural Residential (RR), or Very Low Density Residential (VLDR) Zone; and a development that exceeds a height of 35' must comply with the following standards:
<ul style="list-style-type: none"> A building's exterior glass is required to be either clear or lightly tinted; and Exterior light illuminating a building above the second floor is prohibited.

N. Miscellaneous Standards
Special Requirements for Uses
Personal Services uses in the NC Zone may not exceed 5,000 sf of gross floor area.
Restaurants in the NC Zone:
<ul style="list-style-type: none"> May not exceed 4,000 sf; May operate only between the hours of 7:00 a.m. and 11:00 p.m.; May not have outside seating area in excess of 500 sf; May not have outside seating area within 50' of an adjacent Residential House-Scale Zone; and May not have outdoor amplified sound.

23-4D-4140 Mixed-Use 4B (MU4B) Zone

A. General Intent

The MU4B zone is a mixed-use zone that allows residential, medium-intensity service and commercial-industrial uses. This zone is meant to provide employment in service, storage, and auto-related businesses with operating characteristics that make them inappropriate in zones with retail or office uses, and which are not compatible with residential environments.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Bonus Available

Compatibility Effects in This Zone

Additional Setbacks Triggered by Residential House-Scale and Residential Multi-Unit

Height Stepbacks Triggered by Residential House-Scale

B. Sub-Zone(s)

None

C. Lot Size and Intensity

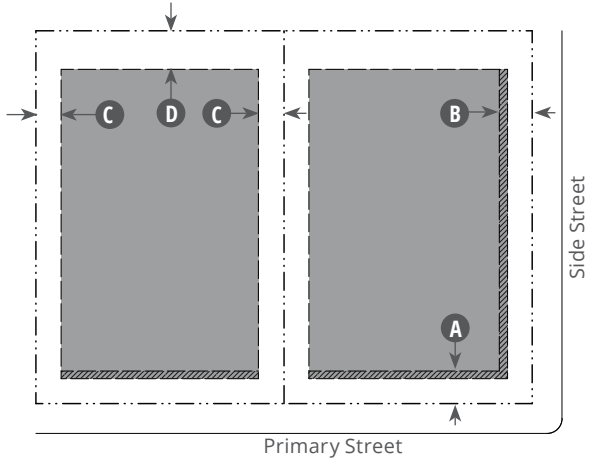
Lot Size	Area	Width
Minimum	5,750 sf	50'
Intensity	Base Standard	AHBP Bonus ¹
Dwelling Units per Acre (max.)	36	+28
FAR (max.)	1.0	+1.0

Notes

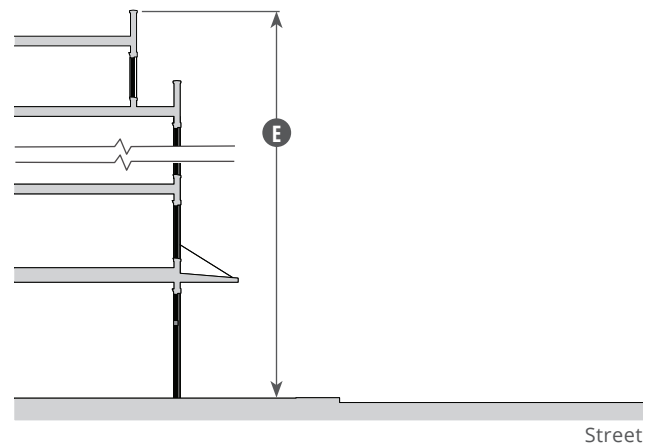
¹ To receive affordable housing bonus, project must comply with Article 23-3E (Affordable Housing).

MU4B

Building Placement Diagram



Building Height Diagram



Key for Diagrams

- ROW / Lot Line
- Building Setback Line

■ Buildable Area

⚡ Max. number of allowed stories may exceed diagram

D. Building Placement and Form

Setback (Distance from ROW / Lot Line)	Front ¹ A	Side St. ¹ B	Side C	Rear D
Minimum, except for portions of building across a shared lot line from:	10'	10'	10'	15'
Any Residential House-Scale Zone				
Lots ≤ 75' wide	15'	15'	10'	30'
Lots > 75' wide	15'	15'	20'	30'

¹ Additional setback and/or easement may be required where street ROW or utilities easement is required.

Primary Building Facade at Minimum Front and Side Street Setback

Minimum² 40%

² Where there is not enough building frontage to meet the standards, an active private frontage is required in compliance with Subsection (G).

See exemptions in Subsection 23-4D-4050 (B)(1).

Building Entrances

Pedestrian entrance must face and connect directly to the primary street.

Pedestrian entrances must be provided at least every 75' along the elevation facing the primary street.

See exemptions in Subsection 23-4D-4050 (B)(2).

E. Height

Primary Building

Overall (max.) 60' **E**

Building Height Stepback

Stepbacks required for portions of building adjacent to, across an alley from, or across a ROW less than 60' wide from a Residential House-Scale Zone.

Distance from Lot Line of Triggering Property	Height (max.)
≤ 25'	18'
25'-50'	35'
50'-100'	45'
> 100'	Set by zone standards

F. Encroachments

Encroachment Type	Front (max.) F	Side St. (max.) G	Side (max.) H	Rear (max.) I
Architectural Features ³	2'	2'	2'	2'
Uncovered Steps, Porch, or Stoop ⁴	3'	3'	3'	3'

See also Section 23-4E-7050 (Encroachments).

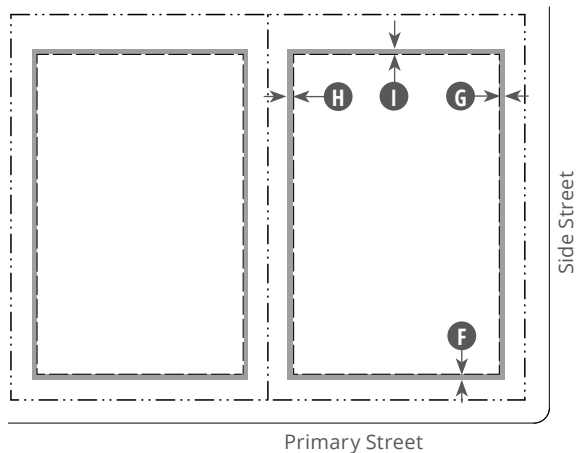
³ Does not apply to a feature required for a passive energy design. See ramp exceptions in Subsection 23-4E-7050(B)(7).

⁴ 3' max. above ground.

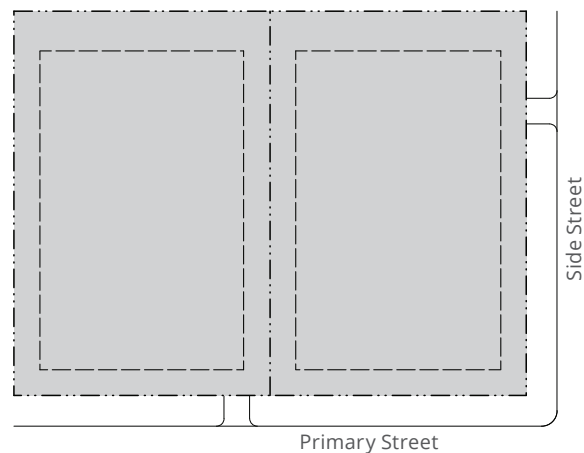
Height Encroachment

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height)

Encroachments Diagram



Parking Diagram

**Key for Diagrams**

--- ROW / Lot Line

--- Building Setback Line

■ Encroachment

■ Parking Area

G. Frontages**Active Private Frontage**

The portion of a building façade designated for active private frontage may be setback a maximum 20' from the setback line. Maximum 30% of active private frontage may be set back up to 30'.

See Subsection 23-4D-4050 (B)(3) for required amenities.

H. Parking**Parking Requirements**

See Section 23-4D-4040 (Parking Requirements).

Off-Street Parking Location Standards

Prohibited between the front property line and the portion of the building facade that satisfies the building placement requirements of Subsection (D).

Allowed between building and side property line, with screening in compliance with Division 23-4E-3 (Parking and Loading).

For sites $\leq 400'$ see Subsection 23-4D-4050 (C).

Parking Location Standards - Corner Sites

Surface parking prohibited within rectangular area formed by the setback lines - measured 100' back from curb line corners (or the intersection of curb line tangents), unless:

- A landscaped buffer is provided between sidewalk and parking area in compliance with Division 23-4E-4 (Landscape); and

- 100% of building frontage facing the primary street is built to the property line.

I. Impervious Cover		
Impervious Cover	% (max.)	Standards
Impervious Cover	95% ¹	23-3D-3
Building Cover	95%	
See Section 23-4E-4080 (Functional Green) for developments with impervious cover greater than or equal to 80%.		
See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.		
¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary the project shall reduce the impervious cover to comply with other requirements of this Title.		
J. Open Space		
Open Space Type	Size (min.)	
Personal Open Space		
Multi-Family Uses < 10 units	5% gross site area in compliance with Section 23-4E-6240 (Multi-Family)	
Common Open Space		
Multi-Family Uses ≥ 10 units	5% gross site area	
All Other Non-Residential Uses > 2 acres	5% gross site area	
Civic Open Space		
All Sites ≥ 4 acres	10% net development acreage in compliance with Section 23-4C-1040 (Civic Open Space)	

K. Signage	
See Chapter 23-8 (Signage).	
L. Additional Standards	
Additional Standards	See Division 23-3E-7 (Additional Standards).
Affordable Housing	See Article 23-3E (Affordable Housing).
Building Design Standards	See Section 23-4E-8060 (Building Design Standards).
Drainage	See Article 23-10E (Drainage).
Landscape	See Division 23-4E-4 (Landscape).
Outdoor Lighting	See Division 23-3E-2 (Outdoor Lighting).
Tree Protection	See Article 23-3C (Tree Protection).
Water Quality	See Article 23-3D (Water Quality).

M. Additional Compatibility	
Property adjacent to a Rural Residential (RR), or Very Low Density Residential (VLDR) Zone; and a development that exceeds a height of 35' must comply with the following standards:	
A building's exterior glass is required to be either clear or lightly tinted; and	
Exterior light illuminating a building above the second floor is prohibited.	

23-4D-5070 Main Street 1B (MS1B) Zone

A. General Intent

The MS1B zone is a neighborhood mixed-use zone that allows multi-unit residential, office, service, and a broad array of retail uses in attached block-scale buildings. This zone is meant to provide housing and convenient access to services and amenities for nearby residents in an low-intensity main street environment with active frontages located at neighborhood nodes, or along corridors served by transit.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Not Applicable

Compatibility Effects in This Zone

Additional Setbacks Triggered by Residential House-Scale and Residential Multi-Unit
Height Stepbacks Not Applicable

B. Sub-Zone(s)

None

C. Lot Size and Intensity

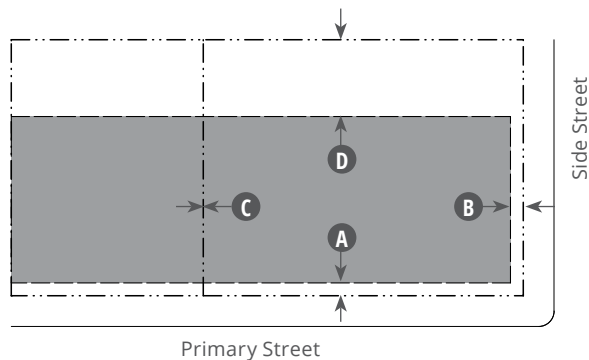
Allowed Building Types	Lot			Additional Standards
	Units per Acre (max.)	Width (min.)	Area (min.)	
Primary Building				
Block Form	—	—	1800 sf	23-4E-8030
Accessory Building				
Accessory Dwelling Unit	1	—	—	23-4E-8030

Key for Subsection C

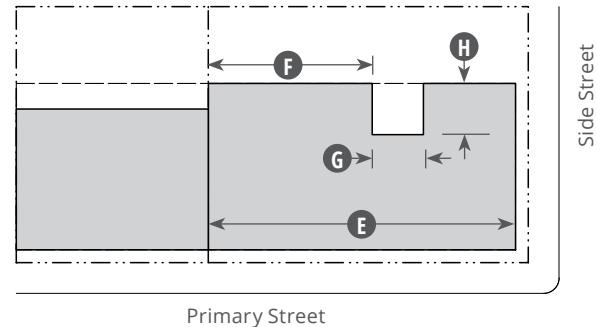
— = No Requirement

MS1B

Building Placement Diagram



Building Form Diagram



Key for Diagrams

--- ROW / Lot Line

--- Building Setback Line

■ Building Footprint

D. Building Placement and Form

Setback (Distance from ROW / Lot Line)	Front A	Side St. B	Side C	Rear D
Minimum	5'	5'	0'	30' ¹
Maximum	10'	10'	—	—

Portions of building adjacent to, across an alley less than 20 feet in width from Residential House-Scale or Residential Multi-Unit Zone

Lots ≤ 75' wide	10'	10'	15' ^{2,3}	30' ^{2,3}
Lots > 75' wide	10'	10'	20' ^{2,3}	30' ^{2,3}

Notes

Additional setback and/or easement may be required where street ROW or utilities easement is required.

Buildings on a lot shall have a minimum 10' separation.

¹ 5' for accessory building when adjacent to alley.

² Landscape buffer required where additional setback are required when adjacent to Residential House-Scale zones. See Section 23-4E-4090 (Intermittent Visual Obstruction Buffer) for specific landscape requirements.

³ Landscape buffer required where additional setback are required when adjacent to Residential Multi-Unit zones. See Section 23-4E-4100 (Semi-Opaque Buffer) for specific landscape requirements.

Overall Building Envelope

Width (max.)	125'	E
--------------	------	---

D. Building Placement and Form (continued)

Building Articulation on Additions and New Construction

Side and Rear Facades, All Stories

Articulation is required for side and rear walls along a parcel line shared with a Residential House-Scale Zone or Residential Multi-Unit Zone.

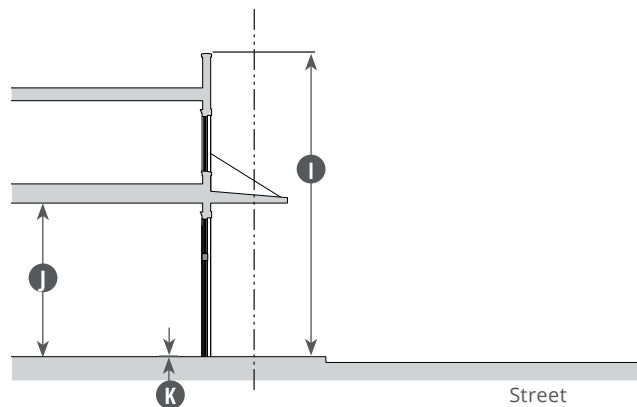
Facade length without articulation (max.)	60'	F
Articulation length (min.)	24'	G
Articulation depth (min.)	24'	H

Primary Building Facade located between Minimum and Maximum Setback

Front	75% min.
Side St.	75% min.

Key for Subsection D

— = No Requirement

Building Height Diagram**Key for Diagram**

--- ROW / Lot Line

E. Height**Primary and Accessory Building**Overall (max.) 35' **I****Accessory Structure**

Overall (max.) 12'

Primary Building, Ground FloorFloor-to-Ceiling Height ¹ 14' min. **J**Finish Floor Height Above Curb 18" **K**

for ground floor residential use
within 10' of a street ROW ^{1, 2, 3}

Notes

¹ Buildings existing at the time of adoption of this Land Development Code and additions to those buildings are exempt.

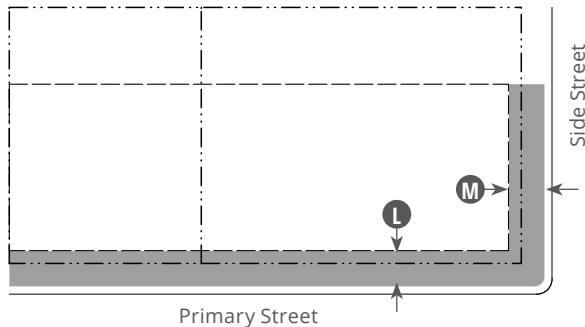
² Primary buildings are exempt on lots where the existing grading slopes down and away from the street.

³ Does not apply to lobbies used to access residential units or amenity areas accessible to residential units.

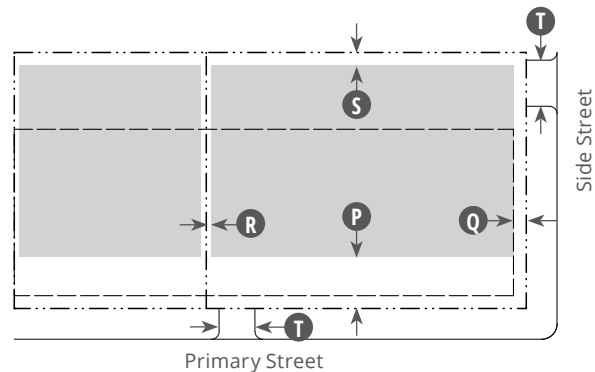
Key for Subsection E

— = No Requirement

Encroachments Diagram



Parking Diagram



Key for Diagrams

--- ROW / Lot Line

■ Encroachment

--- Building Setback Line

■ Parking Area

F. Encroachments

Encroachment Type	Front (max.) L	Side St. (max.) M	Side (max.) N	Rear (max.) O
Private Frontage				
Gallery ¹	14'	14'	N/A	N/A
Architectural Features	3'	3'	N/A	N/A

Encroachments are not allowed within a ROW or public easement.

See Section 23-4E-7050 (Encroachments) for additional standards.

¹ Galleries may encroach into the street ROW, subject to the approval of an encroachment agreement in compliance with Chapter 14-11 (Use of Right-of-Way).

Height Encroachments

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height).

G. Frontages

Private Frontage Type	Front	Side St.	Standards
Terrace	A	A	23-4E-1100
Lightwell ²	A	A	23-4E-1110
Shopfront	A	A	23-4E-1120
Forecourt	A	A	23-4E-1120
Gallery	A	A	23-4E-1130

G. Frontages (continued)

Notes

For non-residential uses, loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

² Allowed only when necessary to accommodate grade change.

Pedestrian Access

Pedestrian entrances must be provided at least every 50' along ground floor street facade and side street facade.

H. Parking

Setback	Front P	Side St. Q	Side R	Rear S
Minimum	20'	5'	2'	5'
Parking Driveway	≤ 40 spaces		> 40 spaces	
Width	14' max.		18' max.	

Driveways may be shared between adjacent parcels.

When lot has adjacent alley with a ROW width of 20' or greater, parking shall be accessed only from the alley.

Parking Requirements

See Section 23-4D-5040 (Parking Requirements).

Notes

Parking is not allowed above the ground floor level.

Key for Subsections F-G

A = Allowed

N/A = Not Allowed

I. Impervious Cover

Impervious Cover	% (max.)	Standards
Impervious Cover	80% ¹	23-3D-3
Building Cover	70%	

See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.

¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary, the project shall reduce the impervious cover to comply with other requirements of this Title.

J. Required Open Space

Open Space Type	Width (min.)	Depth (min.)	Percentage (min.)
Common	15'	15'	5% gross site area

Notes

Common open space requirement may be met by ground floor, upper floor, and/or roof common open space.

Common open space requirements shall not be met by open space provided in required front or side-street setbacks, except when provided as an open space as set forth in Division 23-4C-2 (Civic and Open Spaces).

K. Signage

See Chapter 23-8 (Signage).

L. Additional Requirements

Drainage	See Article 23-10E (Drainage).
Water Quality	See Article 23-3D (Water Quality).
Tree Protection	See Article 23-3C (Tree and Natural Area Protection).
Landscape	See Division 23-4E-4 (Landscape).
Building Design Standards	See Section 23-4E-8060 (Building Design).

23-4D-5090 Main Street 2B (MS2B) Zone

A. General Intent

The MS2B zone is an urban mixed-use zone that allows multi-unit residential, office, service, and a broad array of retail uses in attached block-scale buildings. This zone is meant to provide housing and convenient access to services and amenities for nearby residents in a medium-intensity urban main street environment with active frontages located near transit along a neighborhood edge, along corridors, or in neighborhood nodes served by transit.

Character Summary

Basic and Additional Form Controls

Affordable Housing Bonus Program: Not Applicable

Compatibility Effects in This Zone

Additional Setbacks Triggered by Residential House-Scale and Residential Multi-Unit

Height Stepbacks Triggered by Residential House-Scale

B. Sub-Zone(s)

None

C. Lot Size and Intensity

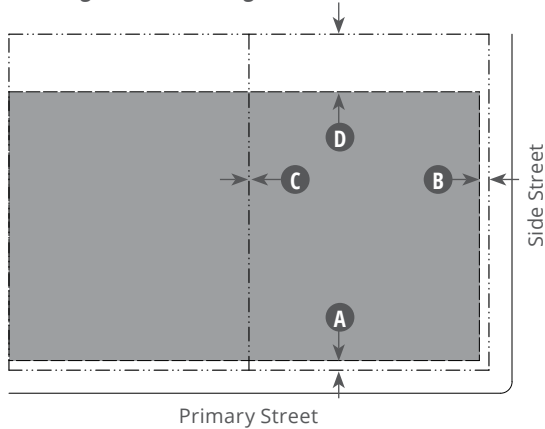
Allowed Building Types	Lot			Additional Standards
	Units per Acre (max.)	Width (min.)	Area (min.)	
Primary Building				
Rowhouse: Medium ¹	3	18'	1800 sf	23-4E-8030
Block Form	—			23-4E-8030
Accessory Building				
Accessory Dwelling Unit	1	—	—	23-4E-8030

Notes

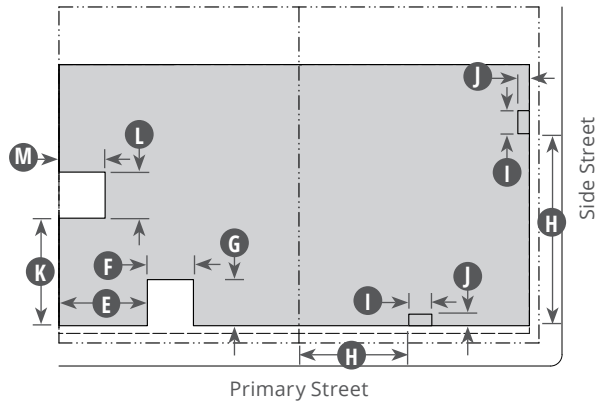
¹ Shall be built in a run with a minimum of 3 and a maximum of 4 attached buildings. Entire run shall not exceed 75' in length.

MS2B

Building Placement Diagram



Building Form Diagram



Key for Diagrams

--- ROW / Lot Line

--- Building Setback Line

■ Building Footprint

D. Building Placement and Form

Setback (Distance from ROW / Lot Line)	Front A	Side St. B	Side C	Rear D
Minimum	5'	5'	0'	30' ¹
Maximum	10'	10'	—	—
Portions of building adjacent to, across an alley less than 20 feet in width from Residential House-Scale or Residential Multi-Unit Zone				
Lots ≤ 75' wide	10'	10'	15' ^{2,3}	30' ^{2,3}
Lots > 75' wide	10'	10'	20' ^{2,3}	30' ^{2,3}

Notes

Additional setback and/or easement may be required where street ROW or utilities easement is required.

Buildings on a lot shall have a minimum 10' separation.

¹ 5' for accessory building when adjacent to alley.

² Landscape buffer required where additional setback are required when adjacent to Residential House-Scale zones. See Section 23-4E-4090 (Intermittent Visual Obstruction Buffer) for specific landscape requirements.

³ Landscape buffer required where additional setback are required when adjacent to Residential Multi-Unit zones. See Section 23-4E-4100 (Semi-Opaque Buffer) for specific landscape requirements.

Overall Building Envelope

Width (max.) —

Key for Subsection D

— = No Requirement

D. Building Placement and Form (continued)

Building Articulation on Additions and New Construction

Front and Side Street Facades, All Stories

Articulation is required for front and side street walls.

Facade length without articulation (max.) 200' E

Articulation length (min.) 24' F

Articulation depth (min.) 24' G

Front and Side Street Facades, All Stories Except Ground Floor

Articulation is required for front and side street walls.

Facade length without articulation (max.) 150' H

Articulation length (min.) 10' I

Articulation depth (min.) 4' J

Side and Rear Facades, All Stories

Articulation is required for side and rear walls along a parcel line shared with a Residential House-Scale Zone or Residential Multi-Unit Zone.

Facade length without articulation (max.) 60' K

Articulation length (min.) 24' L

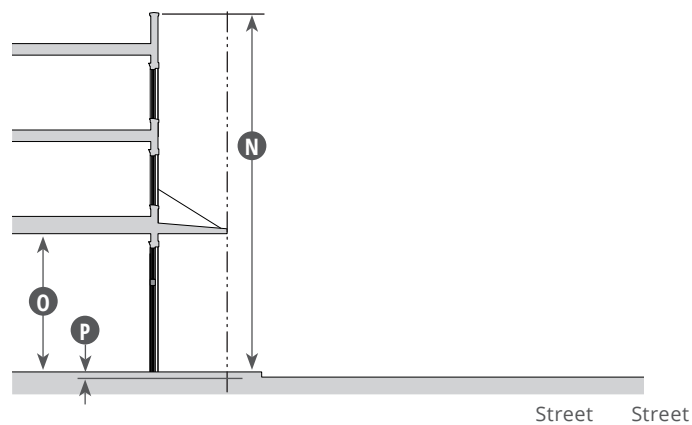
Articulation depth (min.) 24' M

Primary Building Facade located between Minimum and Maximum Setback

Front 75% min.

Side St. 75% min.

Building Height Diagram



Key for Diagram

--- ROW / Lot Line

E. Height

Primary Building

Overall (max.) 45' **N**

Accessory Building

To Eave/Parapet (max.) 22'

Overall (max.) 28'

Accessory Structure

Overall (max.) 12'

Building Height Stepback

Stepbacks required for portions of building adjacent to, across an alley from, or across a ROW less than 60' wide from a Residential House-Scale Zone.

Distance from Lot Line of Triggering Property	Height (max.)
≤ 25'	18'
25'-50'	35'
> 50'	Set by zone standards

E. Height (continued)

Primary Building, Ground Floor

Floor-to-Ceiling Height ¹ 14' min. **O**Finish Floor Height Above Curb 18" **P**

for ground floor residential use
within 10' of a street ROW ^{1, 2, 3}

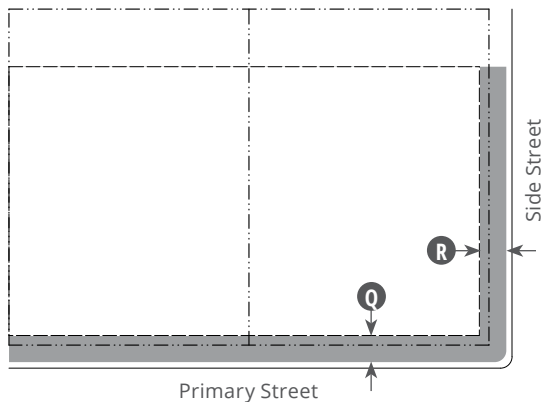
Notes

¹ Buildings existing at the time of adoption of this Land Development Code and additions to those buildings are exempt.

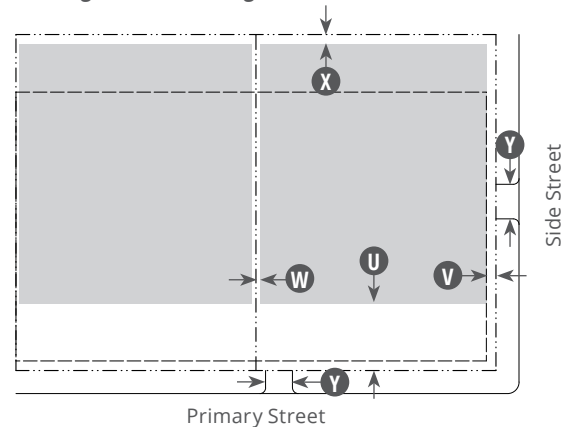
² Primary buildings are exempt on lots where the existing grading slopes down and away from the street.

³ Does not apply to lobbies used to access residential units or amenity areas accessible to residential units.

Encroachments Diagram



Parking Placement Diagram



Key for Diagrams

--- ROW / Lot Line

■ Encroachment

--- Building Setback Line

■ Parking Area

F. Encroachments

Encroachment Type	Front (max.) Q	Side St. (max.) R	Side (max.) S	Rear (max.) T
Private Frontage				
Gallery ¹	14'	14'	N/A	N/A

Architectural Features 3' 3' N/A N/A

Encroachments are not allowed within a ROW or public easement.

See Section 23-4E-7050 (Encroachments) for additional standards.

¹ Galleries may encroach into the street ROW, subject to the approval of an encroachment agreement in compliance with Chapter 14-11 (Use of Right-of-Way).

Height Encroachments

See Subsection 23-4E-7050(C) (Encroachments Above Maximum Height).

G. Frontages

Private Frontage Type	Front	Side St.	Standards
Dooryard	A	A	23-4E-1080
Terrace	A	A	23-4E-1100
Lightwell ²	A	A	23-4E-1110
Shopfront	A	A	23-4E-1120
Forecourt	A	A	23-4E-1120
Gallery	A	A	23-4E-1130

G. Frontages (continued)

Notes

For non-residential uses, loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

² Allowed only when necessary to accommodate grade change.

Pedestrian Access

Pedestrian entrances must be provided at least every 50' along ground floor street facade and side street facade.

H. Parking

Setback	Front U	Side St. V	Side W	Rear X
Minimum	35'	5'	2'	5'
Parking Driveway	≤ 40 spaces		> 40 spaces	
Width	14' max.		18' max.	

Driveways may be shared between adjacent parcels.

When lot has adjacent alley with a ROW width of 20' or greater, parking shall be accessed only from the alley.

Parking Requirements

See Section 23-4D-5040 (Parking Requirements).

Key for Subsections F-G

A = Allowed

N/A = Not Allowed

I. Impervious Cover

Impervious Cover	% (max.)	Standards
------------------	----------	-----------

Impervious Cover	80% ¹	23-3D-3
------------------	------------------	---------

Building Cover	70%	
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See Division 23-3D-8 (Additional Standards in All Watersheds) for additional standards.

¹ The maximum impervious cover may not be attainable due to unique site characteristics, such as trees, waterways, and steep slopes. Where necessary, the project shall reduce the impervious cover to comply with other requirements of this Title.

J. Required Open Space

Open Space Type	Width (min.)	Depth (min.)	Percentage (min.)
Common	15'	15'	5% gross site area

Notes

Common open space requirement may be met by ground floor, upper floor, and/or roof common open space.

Common open space requirements shall not be met by open space provided in required front or side-street setbacks, except when provided as an open space as set forth in Division 23-4C-2 (Civic and Open Spaces).

K. Signage

See Chapter 23-8 (Signage).

L. Additional Requirements

Drainage	See Article 23-10E (Drainage).
Water Quality	See Article 23-3D (Water Quality).
Tree Protection	See Article 23-3C (Tree and Natural Area Protection).
Landscape	See Division 23-4E-4 (Landscape).
Building Design Standards	See Section 23-4E-8060 (Building Design).

23-4D-8090 Former Title 25 (F25) Zone

A. General Intent

The F25 zone is for parcels that will carry forward the regulations in Title 25. Title 25 will remain in effect for several properties within unique, specially-negotiated districts, such as Planned Unit Developments and Neighborhood Conservation Combining Districts, as well as a defined subset of Conditional Overlays. Draft 3 will include a new zone specifically for these properties, as well as accompanying text that more fully explains how existing Title 25 will apply within this zone. A fuller description will be included in Draft 3.

B. Sub-Zone(s)

None

A large, light gray circle is positioned on the right side of the page. Inside the circle, the text 'F25' is written in a large, white, sans-serif font, oriented vertically.

A complete description of this Zone will be included in Draft 3

23-4D-8110 Park (PR) Zone

A. General Intent

The PR Zone applies to areas of the City that are appropriate for Outdoor and Natural Recreation. The purpose of the PR Zone is to preserve areas for Outdoor Formal, Informal, or Natural Recreation land uses.

Character Summary

Form Controls Determined by MUP/CUP

Affordable Housing Bonus Program: Not Applicable

Compatibility Effects in This Zone

Additional Setbacks Not Applicable

Height Stepbacks Not Applicable

B. Sub-Zone(s)

None

C. Allowed Uses and Permit Requirements

Use	Permit Requirements
Entertainment Indoor/Outdoor (Performance Venue/Theater Use Only)	
Site with no prior Performance Venue/Theater Use	CUP
Site with existing Performance Venue/Theater	MUP
Recreation	
Indoor: Site with no prior Recreation Use	CUP
Outdoor, Formal; Site with existing Recreation Use	MUP
Outdoor, Informal	
Site ≤ 1 Acre	P
Site > 1 Acre	MUP
Outdoor, Natural	
Site ≤ 1 Acre and no Site Plan required	P
Site > 1 Acre and/or if Site Plan required	MUP
For lands subject to deed and covenant restrictions, conservation easements, or plans for land management that restrict uses only the following development is allowed: parking for public access, trails, structures needed for nature education programs or observation of nature, and restrooms.	
Additional Uses Allowed:	
Public or civic buildings, structures and parking facilities, pertinent and compatible with open land usages are allowed with a Conditional Use Permit; and	
Accessory structures including bathrooms, maintenance facilities, tool sheds, picnic structures or playgrounds, and trails, are allowed with approval of a Minor Use Permit.	

PR

D. Development Standards

Entertainment Indoor/Outdoor Uses

Min 50' setback from adjacent residential zoned property;

Development standards determined during time of approval of required CUP or MUP

Recreation

Indoor:

Development standards determined during time of approval of required CUP or MUP; and

Setbacks of adjacent residential zoned property apply

Outdoor, Formal:

Development standards determined during time of approval of required CUP or MUP

Minimum 50' side setback from adjacent residential zoned property

Outdoor, Informal:

Development standards determined during time of approval of required MUP

Parking standards are established by joint agreement of the Parks Director

Outdoor, Natural:

Parking standards are established by joint agreement of the Parks Director

Additional Standards for All Uses

Glazing

Glass used on the first floor of a structure must have a visible transmittance rating of 0.6 or higher; and
Reflective surface building materials are prohibited.

Division 23-4E-1: Private Frontages

Contents

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23-4E-1110	Lightwell	11
23-4E-1120	Shopfront	12
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23-4E-1010 Purpose

This Division sets forth the standards applicable to the development of private frontages. Private frontages are the components of a building in the area between the building and the sidewalk that provide the important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). These standards supplement the standards for each zone. For each private frontage type, a description, a statement of the type's intent, and design standards are provided. These standards are intended to ensure development that reinforces the highly-valued existing character and scale of Austin's neighborhoods, corridors, and downtown.

23-4E-1020 Applicability

These standards apply to all private frontages in zones that reference this Division and shall be considered in combination this Article. Additional setbacks and/or easements may be required where ROW, public easements, and/or other utility criteria manual standards are required. The ability for private frontages to encroach into the ROW is subject to approval by the Public Works Director in compliance with Chapter 14-11 (Use of Right-of-Way), in the event that any of these elements are permanent and/or required for site compliance, which if removed would render the site non-compliant with site development standards.

23-4E-1030 Private Frontages Overview

Table 23-4E-1030.A (Austin Private Frontage Types Overview) provides an overview of the allowed private frontage types.

Table: 23-4E-1030.A Austin Private Frontage Types Overview

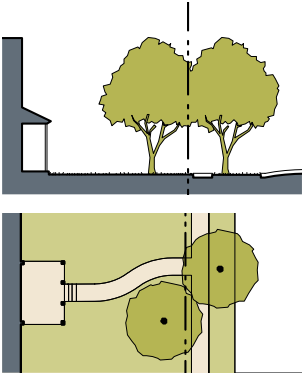
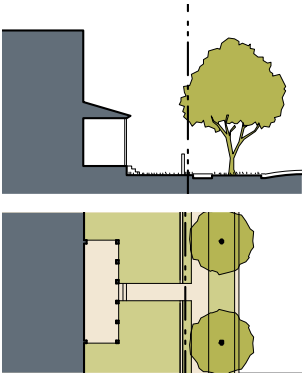
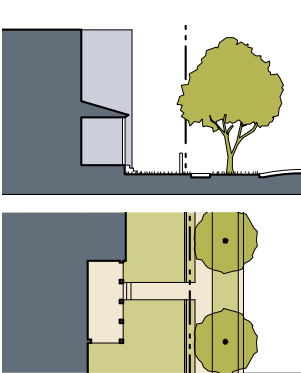
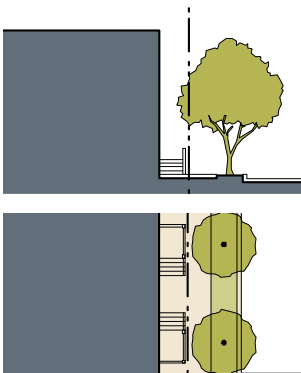
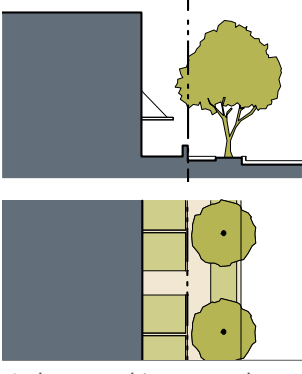
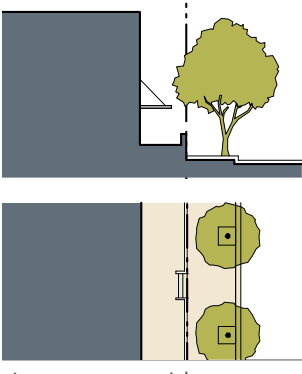
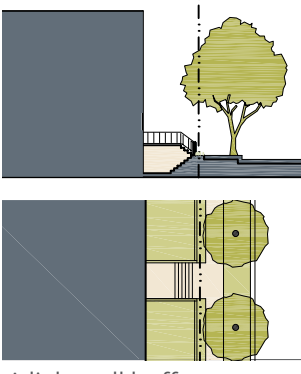
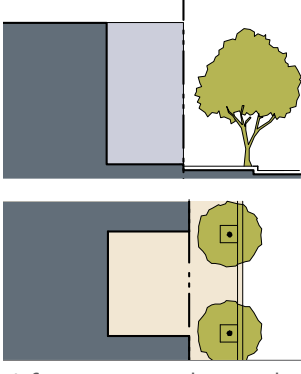
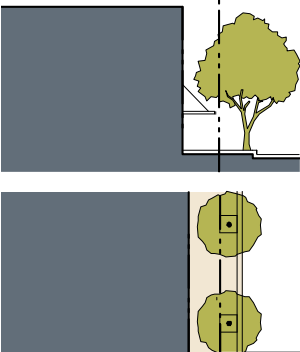
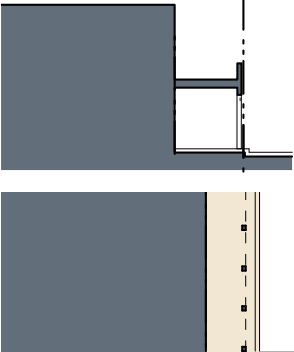
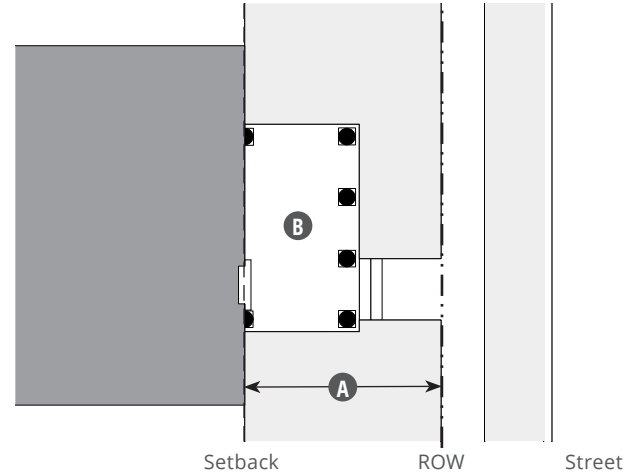
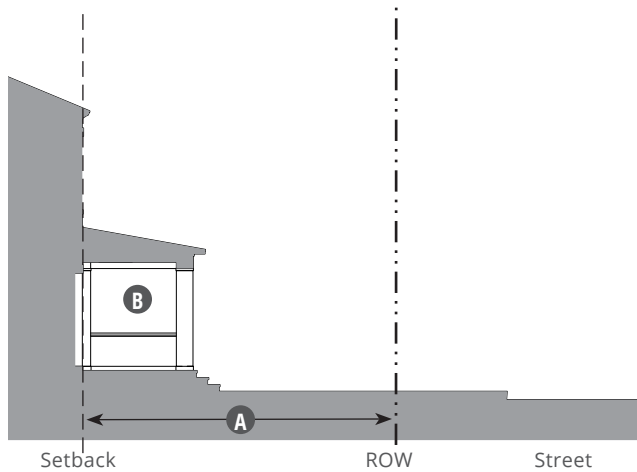
Common Yard	Porch: Projecting	Porch: Engaged	Stoop
			
<p>A common yard remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages. The main facade of the building has a large planted setback from the sidewalk.</p>	<p>A projecting porch has three sides open. The main facade of the building is set back from the sidewalk, resulting in a front yard that can be defined by a fence or hedge to spatially maintain the edge of the street.</p>	<p>An engaged porch has two adjacent sides of the porch attached to the building, while the other two sides are open. The main facade of the building is set back from the sidewalk, resulting in a front yard that can be defined by a fence or hedge to spatially maintain the edge of the street.</p>	<p>A stoop is elevated above the sidewalk to provide privacy within the building for buildings near the sidewalk. Stairs or ramps from the stoop may lead directly to the sidewalk or be side-loaded, running along the face of the building parallel to the facade.</p>
Dooryard	Terrace/ Loading Dock	Lightwell	Forecourt
			
<p>A dooryard is created when the main facade of the building is set back a small distance from the public realm. At the sidewalk, it is defined by a low wall or hedge. A dooryard is not for public circulation along the street. A dooryard may be raised, sunken, or at grade and is intended for ground-floor residential.</p>	<p>A terrace provides at-grade access while accommodating a grade change. Usually there are multiple sets of steps up to the terrace, as well as ramps. The main facade of the building is at or near the sidewalk, with an elevated terrace along the building for public circulation.</p>	<p>A lightwell buffers residential, retail or service uses from the sidewalk and removes the private yard from public encroachment. The main facade of the building is set back from the right-of-way by an elevated terrace or a sunken lightwell.</p>	<p>A forecourt can be used as an entry court or shared garden space for apartment buildings, or as additional shopping or restaurant seating area within retail and service areas. The building sits at or near the sidewalk and a small percentage of the building is set back, creating a small court space.</p>

Table: 23-4E-1030.A Austin Private Frontage Types Overview (continued)

Shopfront	Gallery
	
<p>A shopfront is intended for retail or live/work use and has substantial glazing at the sidewalk level. It may include an awning that overlaps the sidewalk and may be used with other frontage types. The main facade of the building is at or near the sidewalk with an at-grade entrance along the public way. (Syn.: Retail Frontage, Awning.)</p>	<p>A gallery is intended for buildings with ground-floor non-residential uses and may be one or two stories. The gallery should be used to provide the primary circulation along a frontage and extend far enough from the building to provide adequate protection and circulation for pedestrians. The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk.</p>

23-4E-1040 Common Yard

Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade of the building has a large planted setback from the right-of-way providing a buffer from the higher-speed thoroughfares. The front yard remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.

B. Size

Depth Equal to minimum front setback **A**

C. Miscellaneous

Common Yard frontages shall be used in conjunction with another allowed private frontage type, such as the Porch. **B**

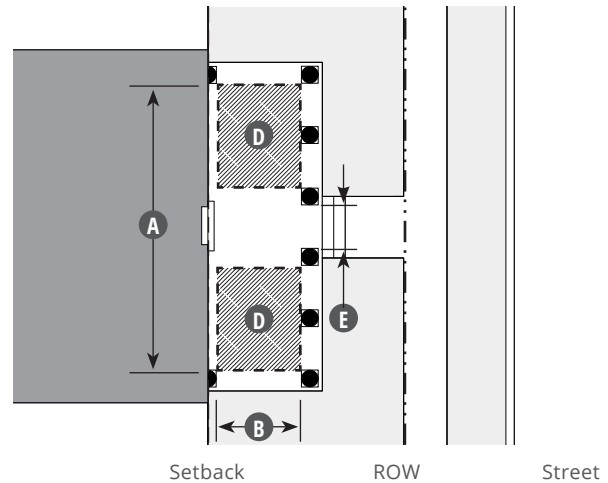
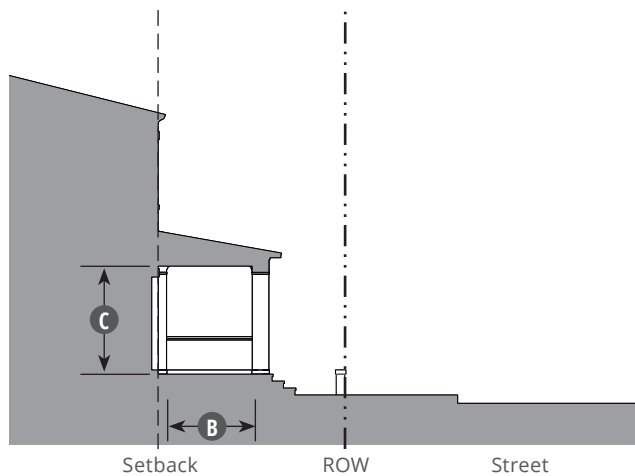
Fences between front yards or between the sidewalk and front yard are not allowed.

D. Examples

The front yards of these rowhouses form a continuous common yard.



Large detached houses with common yard frontage.

23-4E-1050 Porch: Projecting

Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade of the building has a small to medium setback from the right-of-way. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the building setback line.

B. Size

Width, clear	10' min.	A
Depth, clear	8' min.	B
Height, clear	8' min.	C
Height	2 Stories max.	
Furniture area, clear	4' x 6' min.	D
Path of travel, clear	3' wide min.	E

C. Miscellaneous

Projecting porches must be open on three sides and have a roof.

Fences between front yards or between the sidewalk and front yard are allowed, to a maximum height of 3'.

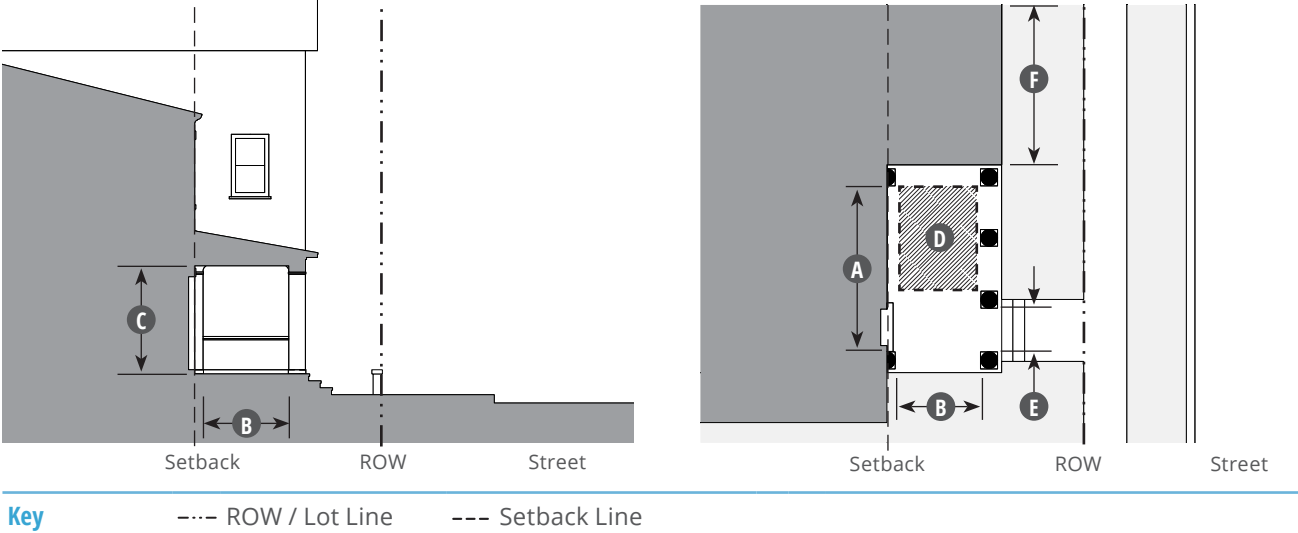
D. Examples

A wrap-around projecting porch defined by landscaping.



A projecting porch that frames the main entrance to the house.

23-4E-1060 Porch: Engaged



A. Description

The main facade of the building has a small to medium setback from the right-of-way. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open.

B. Size

Width, clear	10' min.	A
Depth, clear	8' min.	B
Height, clear	8' min.	C
Height	2 Stories max.	
Furniture area, clear	4' x 6' min.	D
Path of travel, clear	3' wide min.	E

C. Miscellaneous

In zones where both porches and encroachments are allowed, a porch and up to 2/5 of the building facade are allowable encroaching elements. F

Engaged porches must be open on two sides and have a roof.

Fences between front yards or between the sidewalk and front yard are allowed, to a maximum height of 3'.

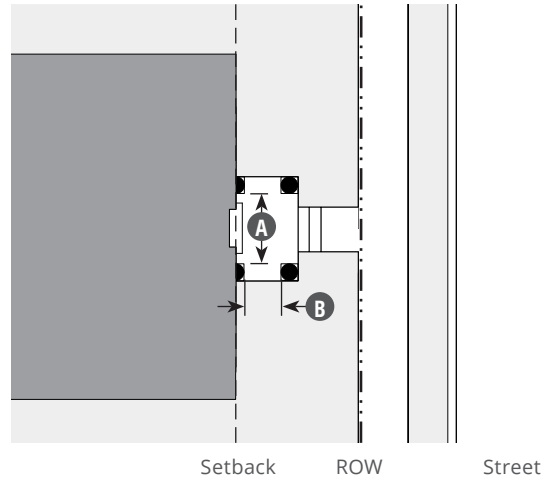
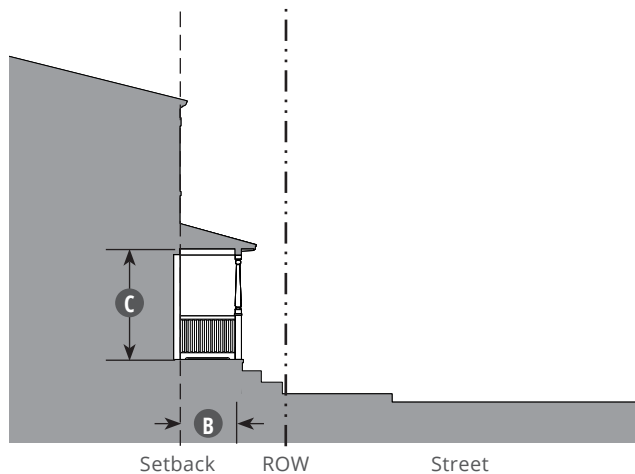
D. Examples



An engaged porch as an attached element leading up to the entrance.



An engaged porch separated from the sidewalk by landscape.

23-4E-1070 Stoop

Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade of the building is near the right-of-way and the elevated stoop engages the sidewalk. The stoop is elevated above the sidewalk to provide privacy along sidewalk-facing rooms. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. Stoops are appropriate for buildings with small setbacks.

B. Size

Width, clear	5' min.; 8' max.	A
Depth, clear	5' min.; 8' max.	B
Height, clear	8' min.	C
Height	1 Story max.	
Depth of recessed entries	6' max.	

C. Miscellaneous

Stairs may be perpendicular or parallel to the building facade.

Ramps shall be parallel to facade or along the side of the building.

The entry door shall be covered or recessed to provide shelter from the elements.

Gates are not allowed.

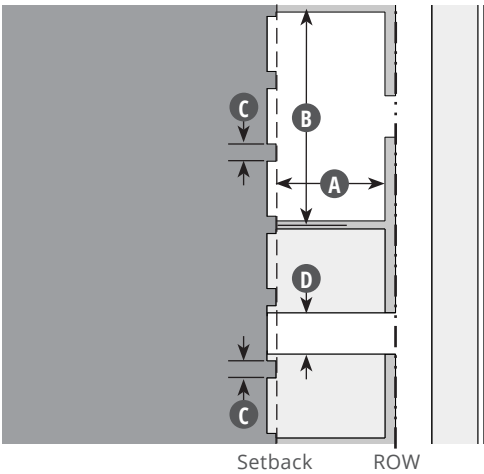
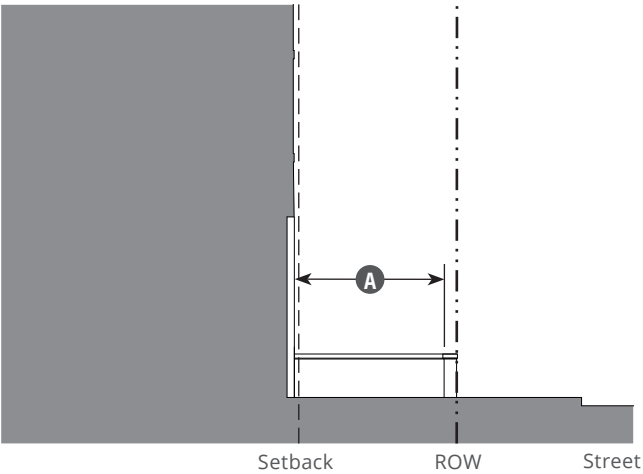
D. Examples

A stoop on a small detached house.



A stoop on a fourplex with a shared entry.

23-4E-1080 **Dooryard**



Key ---- ROW / Lot Line ---- Setback Line

A. Description

The main facade of the building is set back a small distance, and the right-of-way is defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a public right-of-way. The dooryard may be raised, sunken, or at grade.

B. Size

Depth, clear	8' min.	A
Length	50' max.	B
Distance between glazing	4' max.	C
Ground floor transparency	50% min. ¹	
Depth of recessed entries	5' max.	
Path of travel, clear	3' wide min.	D

C. Miscellaneous

For Live/Work and Commercial Uses, these standards shall be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Dooryard standards shall prevail.

A short fence or wall not to exceed 36" in height shall be placed within the facade zone where it is not defined by a building.

Low walls used as seating are encouraged.

Each Dooryard shall provide access to only one ground floor entry.

¹For Live/Work and Commercial Uses only.

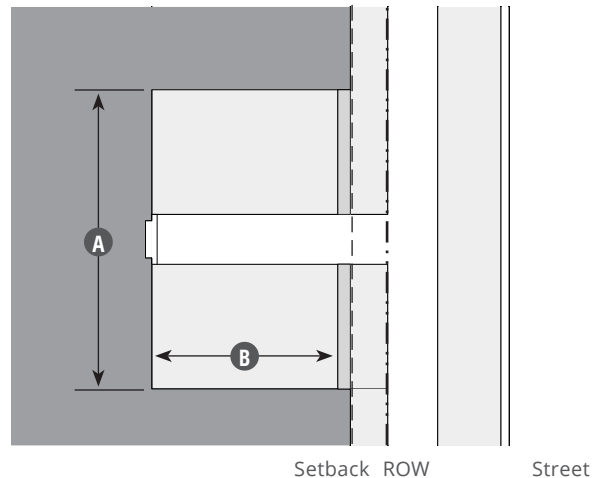
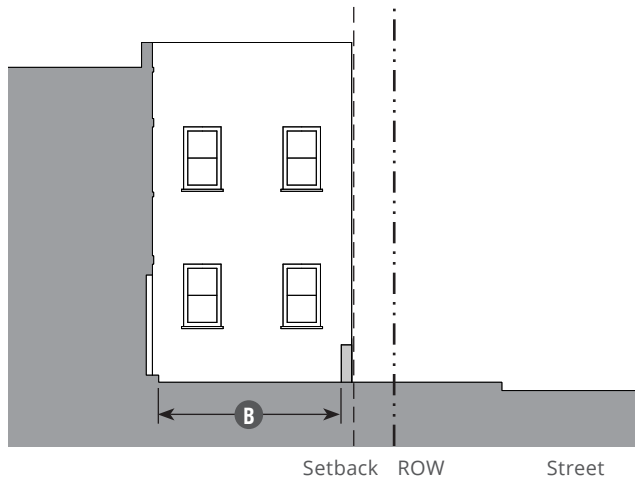
D. Examples



A series of small dooryards on a series of rowhouses.



A series of residential dooryards. Each dooryard has its own steps with railings providing separation between the dooryards of adjacent units.

23-4E-1090 Forecourt

Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade of the building is at or near the **back of sidewalk** and a small percentage is set back, creating a small court space where the adjacent sidewalk visually extends into the space. The space may be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial areas.

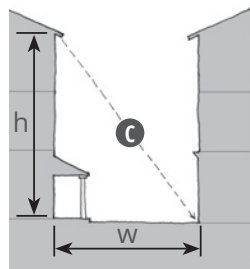
B. Size

Width, clear	12' min.	A
Depth, clear	12' min.	B
Ratio, Height to Width	3:2 max.	C

C. Miscellaneous

A short fence or wall not to exceed 36" in height shall be placed within the facade zone where it is not defined by a building.

The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.

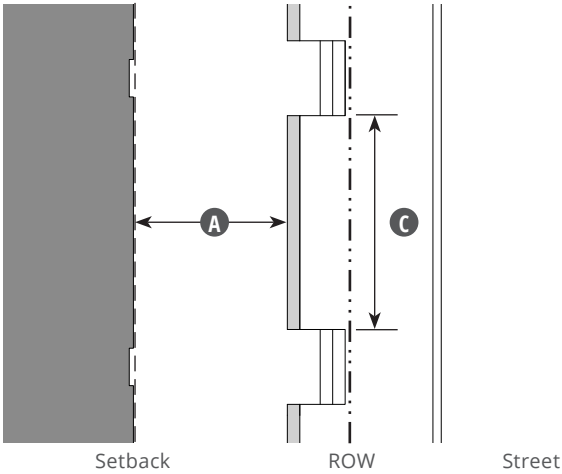
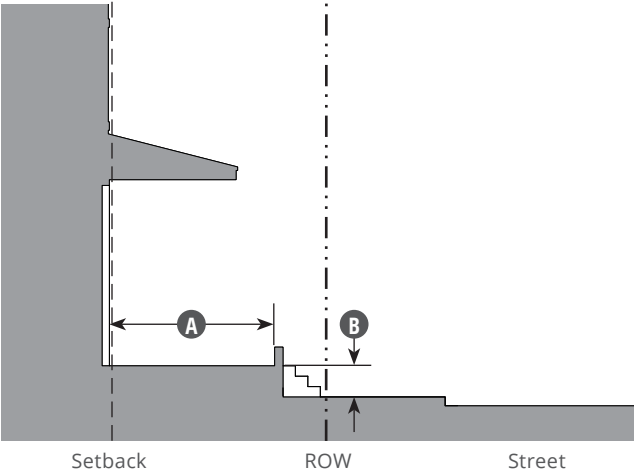
**D. Examples**

This residential forecourt provides a prominent entry yard and breaks down the massing along the street.



*This commercial forecourt provides an outdoor dining area along a vibrant commercial street. The **back of sidewalk** is defined by a low wall as required by this code.*

23-4E-1100 Terrace



Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade is at or near the **back of sidewalk** with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type may also be used in historic industrial areas to mimic loading docks.

B. Size

Depth, clear	8' min.	A
Finish level above sidewalk	42" max.	B
Length of terrace	150' max.	
Distance between stairs	50' max.	C

C. Miscellaneous

These standards shall be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Terrace standards shall prevail.

Low walls used as seating are encouraged.

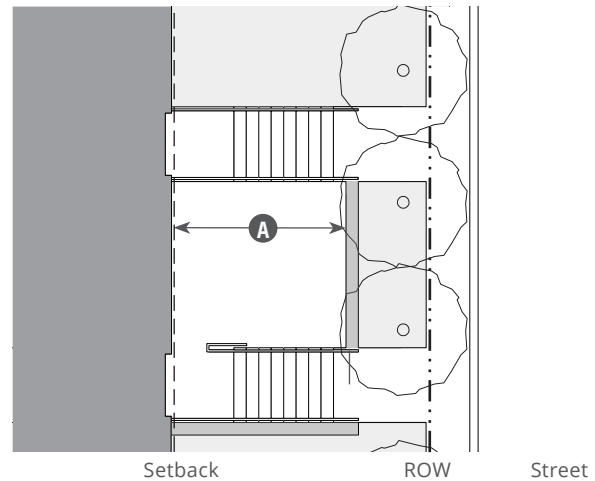
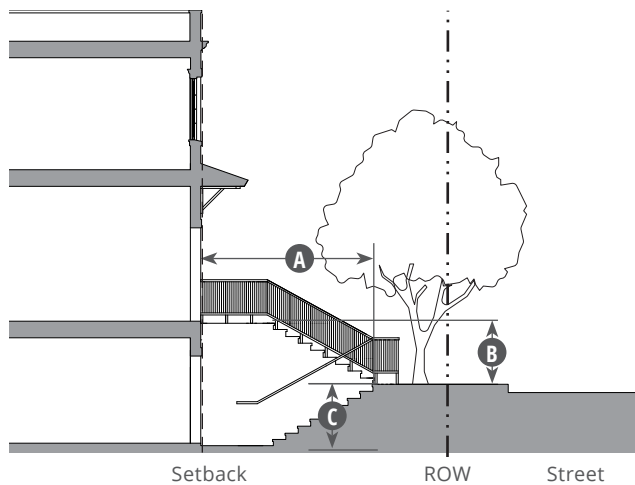
D. Examples



A terrace with outdoor seating that wraps around the building corner.



A terrace used to accommodate a change in grade.

23-4E-1110 Lightwell

Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade of the building is set back from the right-of-way by an elevated terrace or a sunken lightwell. This frontage type is used primarily on residential buildings to accommodate a change in grade.

B. Size

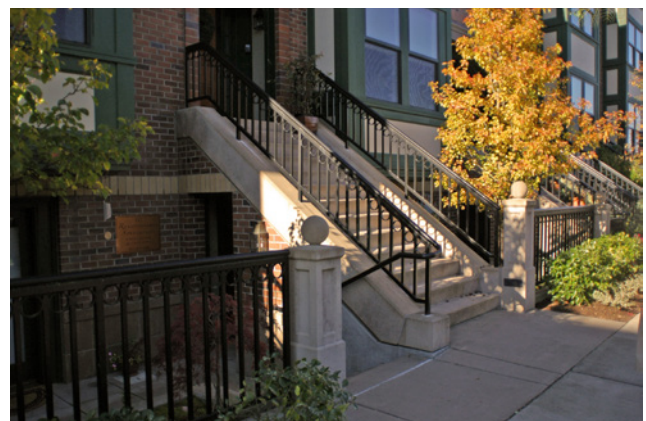
Depth, Clear	5' min.	A
Height		
Landing (above Sidewalk)	6' max.	B
Lightwell (below Sidewalk)	6' max.	C

C. Miscellaneous

A short fence or wall not to exceed 36" in height shall be placed along the setback where it is not defined by a building.

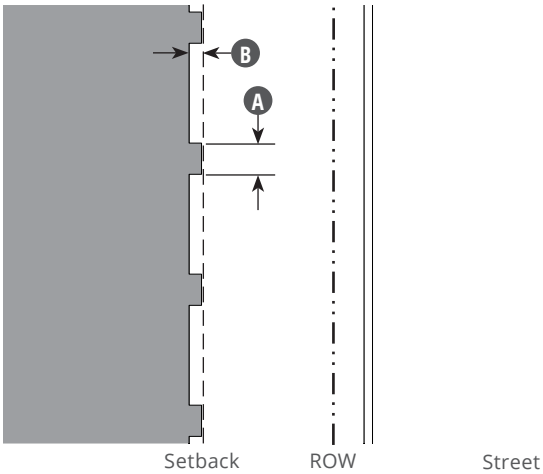
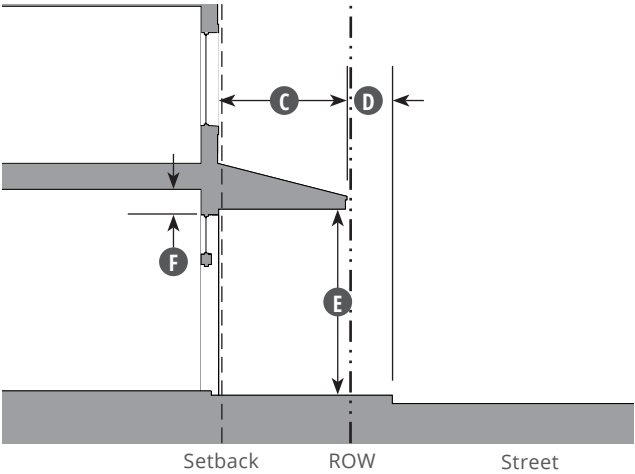
D. Examples

Lightwell with flanking entrances that lead to upper story housing.



Lightwell frontage for a rowhouse building.

23-4E-1120 Shopfront



Key - - - - ROW / Lot Line - - - - Setback Line

A. Description

The main facade of the building is at or near the **back of sidewalk** with an at-grade entrance along the public way. This type is intended for retail or live/work uses. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types such as dooryards, arcades, and galleries.

B. Size

Distance between glazing	2' max.	A
Ground floor transparency	75% min.	
Depth of recessed entries	5' max.	
Depth of shopfront base	8" min.,; 36" max.	B

C. Awning

Depth	4' min.	C
Setback from curb	2' min.	D
Height, clear	8' min.	E

D. Miscellaneous

- Top of glazing shall be within 3' of unfinished ceiling **F** height.
- Residential windows shall not be used.
- Doors may be recessed as long as main facade is within minimum and maximum setback.
- Operable awnings are encouraged.
- Open-ended awnings are encouraged.
- Rounded and hooped awnings are discouraged.
- Accordion-style doors/windows or other operable windows that allow the space to open to the street are allowed.

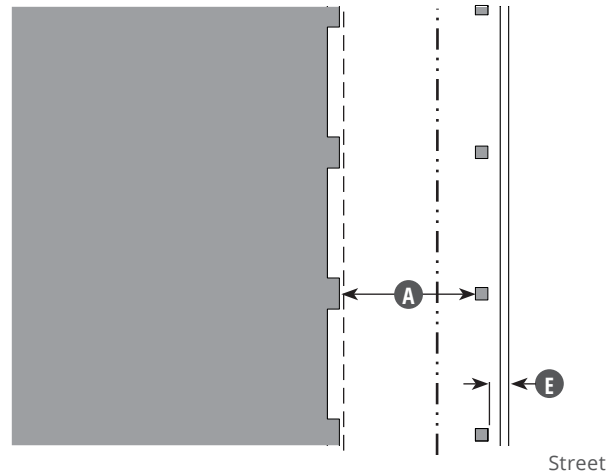
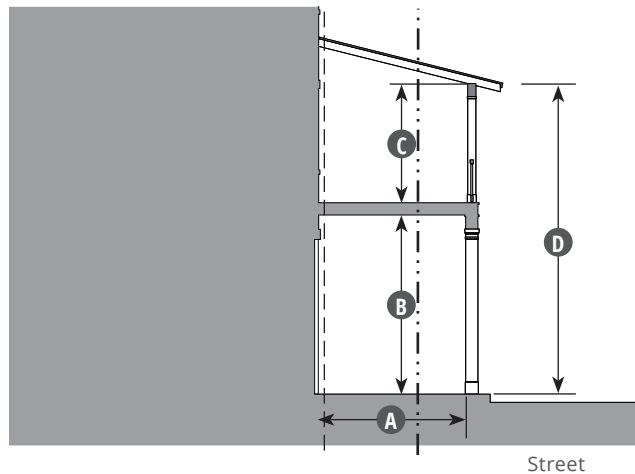
E. Examples



A series of shopfronts defined by columns along the building facade.



Vibrant shopfronts framed by awnings and a variety of signage.

23-4E-1130 Gallery**Key**

---- ROW / Lot Line

---- Setback Line

A. Description

The main facade of the building is at or near the **back of sidewalk and the gallery element overlaps the sidewalk**. This type is intended for buildings with ground-floor commercial uses and may be one or two stories. The gallery extends far enough from the building to provide adequate protection and circulation for pedestrians and is close enough to the curb so that a pedestrian cannot bypass it.

B. Size

Depth, clear	8' min.	A
Ground floor height, clear	11' min.	B
Upper floor height, clear	9' min.	C
Height	2 Stories max.	D
Setback from curb	2' min.	E

C. Miscellaneous

These standards shall be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Gallery standards shall prevail.

Upper-story galleries facing the street shall not be used to meet primary circulation requirements.

Galleries must have a consistent depth along a frontage.

Galleries must project over a sidewalk.

Galleries may encroach into the street ROW, **subject to the approval of an encroachment agreement** in compliance with Chapter 14-11 (Use of Right-of-Way).

D. Examples

A single-story gallery with second floor access to the spaces on the upper story.



A single-story gallery defining an outdoor seating area.

23-4E-6030 Accessory Dwelling Unit - Residential

- (A) **Development Standards.** An Accessory Dwelling Unit (ADU) in residential zones must comply with the standards of the base zone, except as provided in Table 23-4E-6030(A) (Standards for Accessory Dwelling Units).

Table 23-4E-6030(A) Standards for Accessory Dwelling Units

Requirement	Standard
Lot Area	Equivalent to a standard lot.
Building Height	30' and limited to 2 stories, unless the base zone is more restrictive.
Floor Area	(1) Max. 1,100 sf total or FAR of 0.15 (whichever is smaller); and (2) Max. 550 sf on a second floor.
Placement	(1) Min. 10' to the front, rear, or side of the primary structure or above a detached garage, or within the primary structure. (2) May be connected to the primary structure with a covered walkway.
Other	May not be used as a short-term rental for more than 30 days in a calendar year if the unit was constructed after October 1, 2015.

(1) Additional Standards for LA, RR, R1A, R1B, and R1C Zones

- (a) Minimum lot size is 15,000 square feet.
- (b) The ADU must be occupied by a family that has at least one member employed on-site for security, maintenance, management, supervision, or personal service.

(2) Additional Standards for Accessory Apartments

- (a) An accessory apartment is an ADU that is contained within the primary structure of a single-family residence, and that is occupied by at least one person who is 60 years of age or older or physically disabled.
- (b) An accessory apartment is allowed in addition to a detached ADU.
- (c) If space within a primary structure is converted to an accessory apartment, the accessory apartment must not include a new entrance visible from a thoroughfare.
- (d) A Building Permit may not be issued for construction or remodeling of an accessory apartment unless the applicant submits an affidavit verifying that one of the proposed occupants of the accessory apartment is 60 years of age or older or physically disabled.

Division 23-4E-8: Building Standards

Contents

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23-4E-8010 Purpose

This Division sets forth the standards applicable to building design. These standards supplement the standards for each zone. These standards are intended to ensure development that reinforces the highly-valued existing character and scale of Austin’s neighborhoods, corridors, and downtown.

23-4E-8020 Applicability

These standards apply to buildings within all zones and shall be considered in combination with Article 23-4D (Specific to Zones) and this Article.

23-4E-8030 Building Types Overview

- (A) This Section provides an overview of the allowed building types. The names of the building types are representative of a desired form and are not intended to limit uses within a building type. For example, a detached house may have non-residential uses within it, such as a restaurant or office, as allowed by the zone.
- (B) The lot size standards for each building type are set in each zone. They designate the range of lot sizes on which the given building type is allowed to be built. If the lot is smaller or larger than the allowed lot size, a different building type shall be selected.
- (C) **Accessory Building Form Building Types**
 - (1) Accessory Building Form building types allowed in a zone are allowed in addition to the primary building type, except:
 - (a) The Accessory Dwelling Unit building type is not allowed with Large House Form or Multiple House Form building types.
 - (2) Accessory Dwelling Unit is the only Accessory Building Form building type in which accessory dwelling units are allowed.
- (D) The building types are classified in the following categories: House Form, Multiple House Form, Block Form, and Accessory Building Form. Table 23-4D-2060.A, below, provides an overview of the allowed building types by category.

Table 23-4E-8030(A) Austin Building Types Overview

House Form



Cottage House: A compact, detached structure, consisting of one unit facing the fronting street, usually sited on a compact lot.



House: A medium, detached structure, consisting of one unit facing the fronting street.



Duplex: A small to medium structure that houses two stacked or adjacent units in the same building with individual or shared entrances. On interior lots both units face the fronting street, while on corner lots one unit may face the side street.



Multiplex: Medium: A medium structure that consists of multiple stacked or adjacent units with one shared entry or with individual entries along the front.

General Note: Images on this page are illustrative, not regulatory.

Table 23-4E-8030(A) Austin Building Types Overview (continued)**House Form (continued)**

Courtyard Building: A medium structure that consists of multiple stacked and/or adjacent units accessed primarily from a courtyard defined on three sides by the building and open on one side to the fronting street. Each unit may have its own individual entry or some units may share a common entry.



Rowhouse: A medium structure composed of small structures attached side-by-side in a series with individual entries along the front.



Multiplex: Large: A medium to large structure that consists of multiple units with one shared entry facing the fronting street (unless additional entries are allowed by Planning Director).

Multiple House Form

Cottage Court: A series of small detached structures (cottages), each containing a single unit. The cottages are arranged to define a shared courtyard, typically perpendicular to the street. The shared courtyard takes the place of a private yard. See Section 23-4D-2220 (Supplementary Cottage Court Building Type Standards) for additional standards.



Cottage Corner: A series of small detached structures (cottages), each containing a single unit, on a corner lot of a block. The cottages are arranged in a row, typically perpendicular to the front lot line, with individual entries along the side street.

General Note: Images on this page are illustrative, not regulatory.

Table 23-4E-8030(A) Austin Building Types Overview (continued)

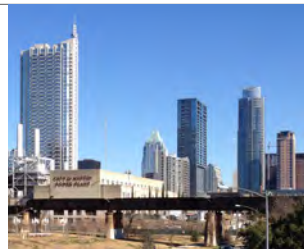
Block Form



Low-rise: A medium to large structure that consists of multiples. Each unit may have its own individual entry, or units may share a common entry. This building type may include a courtyard and shall not include multi-level structured parking.



Block-form: A medium to large structure, typically attached, that provides a vertical mix of uses with ground-floor retail or service uses, and upper-floor service or residential uses.



High-rise/Tower: A large structure with portions or all of the building more than eight stories tall, built on a large lot that may incorporate structured parking. It provides a vertical mix of uses with ground-floor retail or service uses and upper-floor service or residential uses.

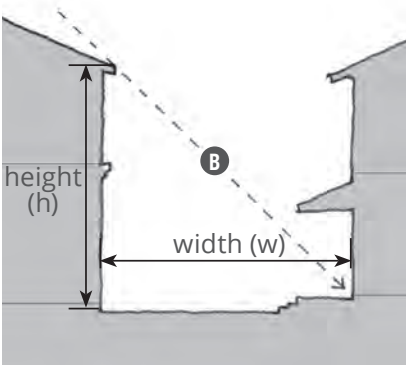
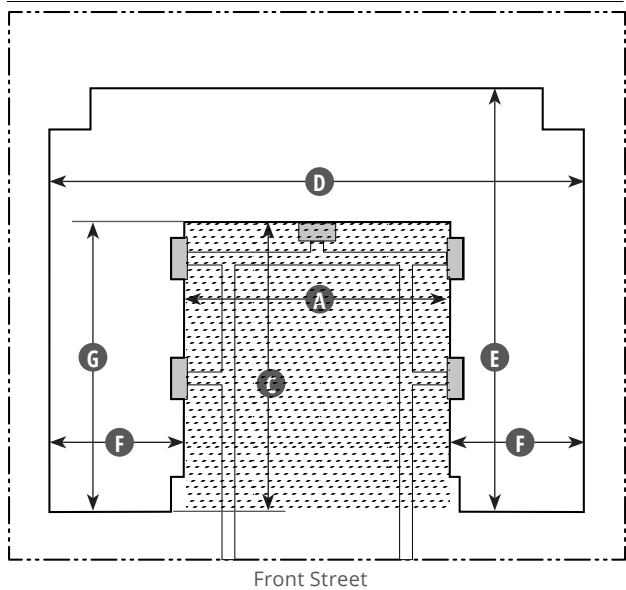
Accessory Building Form



Accessory Dwelling Unit: An additional structure located at the rear of a lot—sometimes positioned above a garage—that provides space for a single small residential unit, a home office, or other small commercial or service use. Also known as a Granny-flat.

General Note: Images on this page are illustrative, not regulatory.

23-4E-8040 Supplementary Courtyard Building Type Standards



Key for Diagrams - - - - ROW / Lot Line Encroachment Open Space

A. Courtyard Building		
Courtyard(s)		
Width	20' min.; 50' max.	A
Width-to-Height Ratio ¹	1:2 min.; 2:1 max.	B
Depth (from front of building)	20' min.; 50' max.	C
Depth-to-Height Ratio ¹	1:1 to 3:1	B
Area (total)	400 sf min.; 50 sf/unit min.	

Notes

A minimum of three courtyard edges shall be defined by the building.

Min. 75% of units shall front onto the courtyard.

Courtyard area shall be common open space.

¹ Height must also comply with height standards defined by zone.

A. Courtyard Building (continued)		
Overall Building Footprint		
Width	100' max.	D
Depth	100' max.	E
Wing Footprints		
Width	28' max.	F
Depth	50' max.	G
Pedestrian Access		

Pedestrian connections shall link all buildings to the public right-of-way, courtyards, and parking areas.

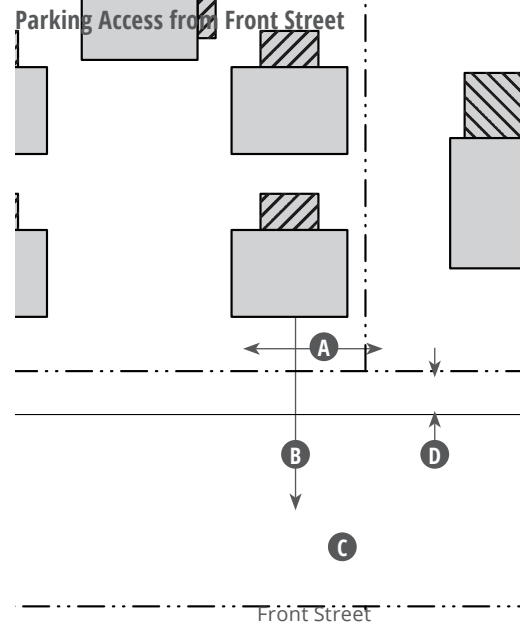
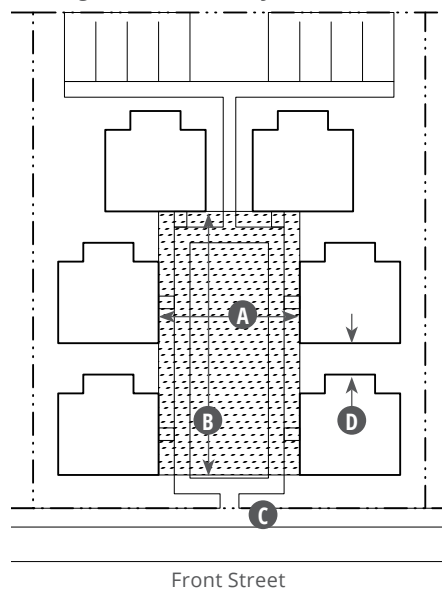
The primary entry of ground floor units shall be directly off of a courtyard or a street.

No more than 3 units may enter from one stoop.

On corner lots, units in side street facing wing may enter from the side street.

Courtyards shall be accessible from the front street.

Each unit may have an individual entry.

23-4E-8050 Supplementary Cottage Court Building Type Standards**Parking Access from Alley****Key for Diagrams**

--- ROW / Lot Line

□ Open Space

A. Cottage Court**Open Space**

Width	20' clear, min.	A
Depth	75' clear, min.	B
Area	1000 sf min., total; 200 sf/unit min.	

A minimum of two sides of the open space shall be defined by building facades.

Open space requirements shall not be met by open space provided in required front or side-street setbacks.

The common court shall not be used for vehicular access or parking.

Private rear yards shall be discouraged.

A. Cottage Court (continued)**Pedestrian Access**

The main entrance to the court shall be from the front street. **C**

Units shall front on to the common court or the street.

On corner lots, units adjacent to side street shall front both the court and the street.

Pedestrian connections should link all buildings to the public right-of-way, court(s), and parking areas.

Miscellaneous

Buildings on the lot shall be separated from one another by a minimum clear distance of 8'. **D**

Driveway and parking areas shall be screened from the common court by buildings.

Parking shall be clustered and shall not be provided adjacent to or attached to individual units.

23-4E-8060 Building Design Standards

- (A) **Purpose.** These building design standards are intended to:
- (1) Strengthen the City's unique character and help buildings to better function in the City's environment;
 - (2) Create buildings with appropriate human scale;
 - (3) Ensure that buildings contribute to the creation of a pedestrian-friendly environment through the provision of glazing, shading, and shelter at the pedestrian level;
 - (4) Lessen the impact of branded architecture that does not speak to the city's unique character and conditions; and
 - (5) Increase the quality, adaptability, and sustainability in the City's building stock.
- (B) **Applicability.** [Table 23-4E-8060\(A\) \(Applicability of Building Design Standards\)](#) identifies the applicability of this Section:

Table 23-4E-8060(A): Applicability of Building Design Standards

Standard	Applicability
Glazing and Building Facade Relief Requirements	Development of any non-residential land use, except: Industrial Uses, Religious Assembly and Schools are exempt from glazing requirements.
Options to Improve Building Design	Development of any commercial use $\geq 10,000$ sf that requires a Building Permit.
	Development of any commercial use $< 10,000$ sf that contains any exterior trademarked design feature.
	Any building zoned for industrial use or warehouse use at the point its use is converted to commercial.
	Office development is exempt.

- (C) **Glazing and Building Facade Relief.** Glazing provides interest for pedestrians, connects the building exterior and interior, puts eyes on the street, promotes reusability, and provides a human-scale element on building facades. Projects subject to this Subsection, in compliance with [Table 23-4E-8060\(A\) \(Applicability of Building Design Standards\)](#), must meet the following minimum requirements, but may provide additional glazing and building facade relief beyond what is required under this Subsection:
- (1) On the building facade facing the primary roadway where building frontage is provided under the requirements of [Article 23-4D \(Specific to Zones\)](#):
 - (a) Minimum 40 percent of the wall area below 10 feet in height, as measured from the finished floor level of the building facade's entry, must consist of glazing, except:
 - (i) If topography, distance, or other physical characteristics remove the building facade from a close physical connection to the primary roadway, no glazing is required.

- (b) Minimum 25 percent of the wall area between 10 feet and 30 feet in height, as measured from the finish floor level of the building facade's entry, must consist of glazing (See Figure 23-4E-8060(1) (Glazing and Building Facade Relief Requirements)).

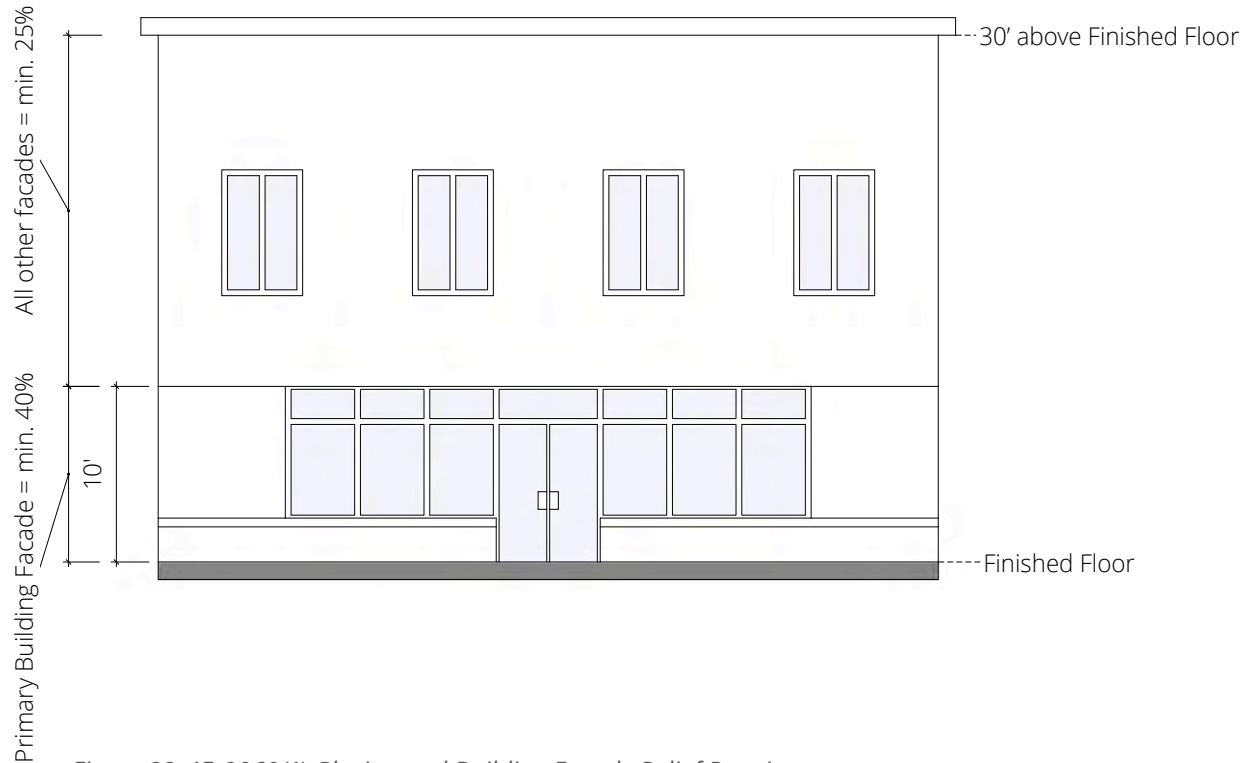


Figure 23-4E-8060(1) Glazing and Building Facade Relief Requirements

- (2) On all other building facades, minimum 25 percent of the wall area between two and ten feet in height, as measured from the finish floor level of this building facade's entry, must consist of glazing or building facade relief unless evergreen vegetative screening is allowed and approved by the Development Services Director.
- (3) **Exemptions**
- (a) One building facade is exempt from glazing and building facade relief requirements. The exempt building facade cannot face a primary roadway or internal circulation route.
 - (b) Any building facade that is built up to an interior property line is not required to have glazing on the building facade if no prohibitions and no contractual or legal impediments exist preventing a building from being constructed on the adjacent property up to the wall of the building facade.
- (4) At least one-half of the total area of all glazing on building facades that face the primary roadway shall have a Visible Transmittance (VT) of 0.6 or higher.
- (5) The requirements in this Subsection may be reduced to the extent that the required level or location of glazing conflicts with the standards of the Adopted Energy Code, Building Code, LEED, or the Green Building Program.

(D) Options to Improve Building Design

(1) General Requirements

- (a) Each building subject to this Subsection must earn one base point from [Table 23-4E-8060\(B\) \(Design Option Points\)](#), and may be required to earn additional points, as provided in [Subsection \(D\)\(2\)](#).
- (b) Developments with multiple buildings are required to earn the applicable number of points for each building, including any additional requirements under [Subsection \(D\)\(2\)](#). Points earned may not be aggregated to count toward minimum requirements for other buildings.

(2) Additional Requirements for Certain Types of Development. The following development requires additional points as specified below. Points required in this Subsection are cumulative.

- (a) A building with exterior trademarked design features requires additional points as follows:
 - (i) Three additional points from [Table 23-4E-8060\(B\) \(Design Option Points\)](#) if features are located 12 feet or less above finished grade and there is no prototypical roof or parapet design.
 - (ii) Five additional points from [Table 23-4E-8060\(B\) \(Design Option Points\)](#), two of which must come from Group B, if such features are located more than 12 feet above finished grade.
- (b) If the building plan depicts any of the following design features, one additional point is required for each design feature, unless otherwise noted.
 - (i) Building is one story and greater than 20 feet tall, floor to bottom of roof structure.
 - (ii) Building facade exceeds 200 feet in width without entrances every 75 feet.
 - (iii) Individual use is greater than 100,000 square feet.
 - (iv) False fronts or shaped parapets are created to increase the apparent size of the building or house corporate signage or logos. Building parapets must not be greater than 50 percent higher than the distance of the building from grade to roof. (For example, a building that is 20 feet tall from the grade to the roof cannot have a parapet greater than 10 feet tall from roof to top of parapet.) See [Figure 23-4E-8060\(2\) \(Standards for Height of False Fronts or Parapets\)](#).
 - (v) Concrete block is used on more than 25 percent of a building facade visible to the public, not including split-faced concrete block.
 - (vi) Concrete block requires two additional points if it is used on more than 75 percent of a building facade visible to the public, not including split-faced concrete block.
 - (vii) Exterior Insulation and Finishing System (EIFS) is used as a material on the ground floor below 10 feet.
 - (viii) Pad building with drive-in or drive-through.

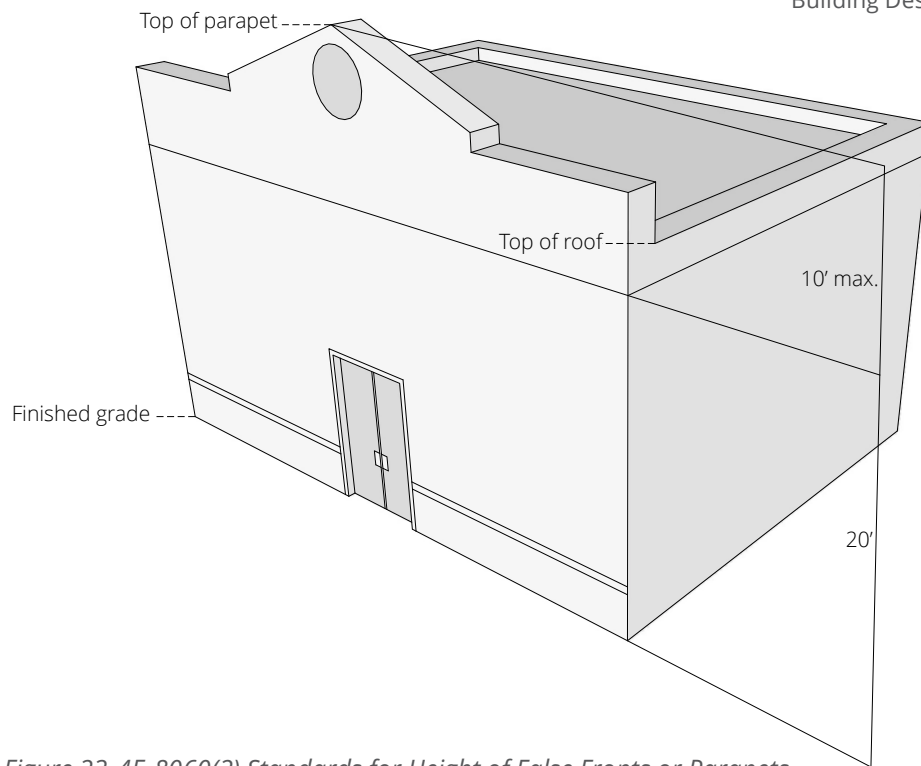


Figure 23-4E-8060(2) Standards for Height of False Fronts or Parapets

Table 23-4E-8060(B) Design Option Points

Option	Description/Comments
Group A: Each option worth 1 point	
Achieve star rating under the Austin Energy Green Building Program	Each star of the rating qualifies for one point. No double credit for Austin Energy Green Building Program points from Group B.
Provide for liner stores in building facade (1 point for each liner store)	See Division 23-4M-1 (Terms)
Provide building facade articulation	See Subsection (D)(3)(a)
Provide primary entrance design	See Subsection (D)(3)(b)
Provide building entrances/exits under a shade device	Not applicable to emergency or delivery access. Examples include an awning or portico.
Provide roof design	See Subsection (D)(3)(c)
Use building materials meeting the standards of this Section	Limestone or brick. Brick color must not be a trademarked design feature.
Improve storefronts to regulatory standard of Subsection (C) for glazing type/size and shading	Applies only for buildings existing before January 13, 2007.
100% of glazing on ground-floor building facades that face any street or parking lot have a Visible Transmittance (VT) of 0.6 or higher	

Table 23-4E-8060(B) Design Option Points (cont.)	
Option	Description/Comments
Group B: Each option worth 2 points	
Complies with neighborhood design guidelines	
Design building so that at least 75% of the building facade facing the principal street consists of storefronts with at least two separate entrances facing the principal street	
Separate entrances facing the primary roadway	See Subsection (D)(3)(d)
Provide sustainable roof	
Integrate solar power generation into building design	The specific features and design shall be approved by the Energy Director. Examples include rooftop solar panels or building integrated photovoltaics
Group C: Each option worth 3 points	
Achieve Green Building rating of 2 stars	

(3) Standards for Design Options. To satisfy the requirements in [Subsections \(D\)\(1\) and \(D\)\(2\)](#), the design options must comply with the standards of this Subsection.

- (a) **Building Facade Articulation.** Building facade articulation must consist of one of the design features in [Table 23-4E-8060\(C\) \(Building Facade Articulation\)](#), none of which can be trademarked design features. See [Figure 23-4E-8060\(3\) \(Building Facade Articulation\)](#) for reference.

Table 23-4E-8060(C) Building Facade Articulation	
Design Element	Description
Changes in plane	Minimum depth of 2', horizontally or vertically Changes at intervals between 20' to 100'
Changes in color, texture, or material	Horizontally or vertically Changes at intervals between 20' to 100'
Repeating pattern of wall recesses and projections	Minimum relief of 8" Examples include bays, offsets, reveals or projecting ribs

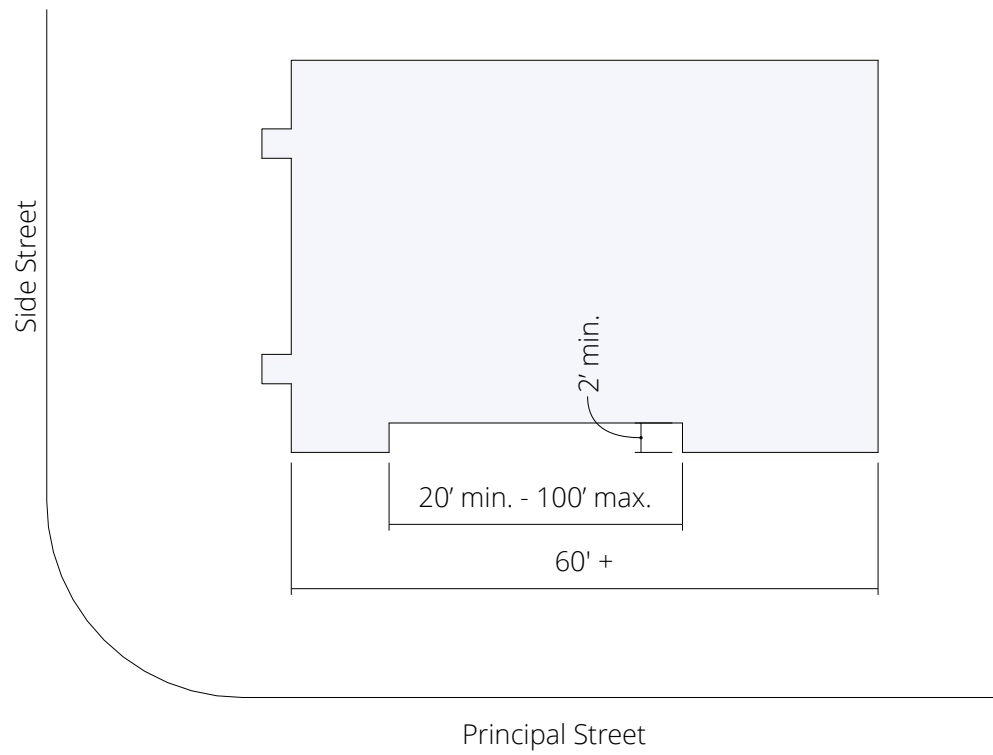


Figure 23-4E-8060(3) Building Facade Articulation

- (b) Primary Entrance Design.** Primary entrance design must consist of at least three of the following design elements at the primary entrance (none of which can be trademarked design features), so that the primary entrance is architecturally prominent and clearly visible from the abutting street:
- (i) Architectural details such as arches, friezes, tilework, murals, or moldings.
 - (ii) Integral planters or wing walls that incorporate landscape or seating.
 - (iii) Enhanced exterior light fixtures such as wall sconces, light coves with concealed light sources, ground-mounted accent lights, or decorative pedestal lights.
 - (iv) Prominent three-dimensional features, such as belfries, chimneys, clock towers, domes, spires, steeples, towers, or turrets.
 - (v) A repeating pattern of pilasters projecting from the building facade wall by a minimum of eight inches or architectural or decorative columns.
- (c) Roof Design.** Roof design must consist of at least one of the design elements in [Table 23-4E-8060 \(D\) \(Roof Design\)](#), none of which can be trademarked design features. See [Figure 23-4E-8060\(4\) \(Roof Design\)](#) for reference.

Table 23-4E-8060(D) Roof Design	
Design Element	Description
Parapets, horizontal top ¹	Must have 1' (min.) height change occurring horizontally a minimum of every 100'
Parapets, no horizontal top ¹	Must have pitched or rounded tops with a pattern that repeats or varies every 100' (min.)
	With at least 2 of the following:
	With a slope of at least 5:1
Sloping Roofs	2 or more slope planes
	Overhanging eaves extending at least 3' beyond supporting wall
¹ All parapets must have detailing such as cornices, moldings, trip, or variations in brick coursing.	

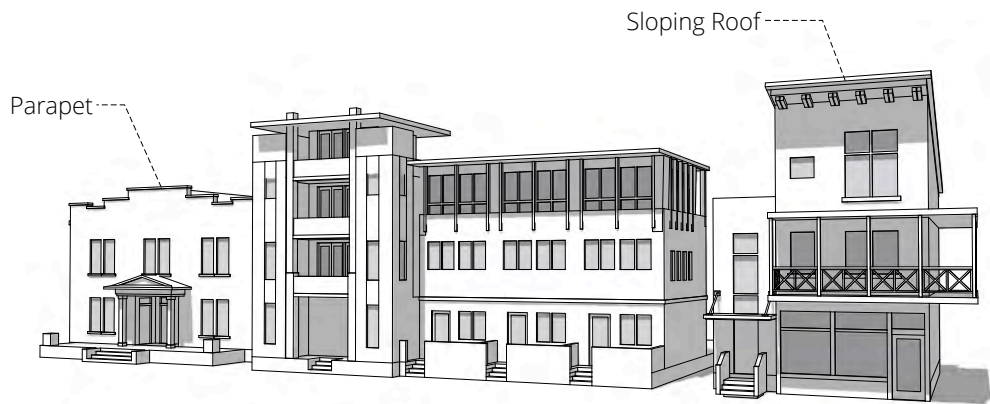


Figure 23-4E-8060(4) Roof Design

(d) Sustainable Roof. A sustainable roof must include one of the roofing options in [Table 23-4E-8060\(E\) \(Sustainable Roofing\)](#). See [Figure 23-4E-8060\(5\) \(Sustainable Roofing\)](#) for reference.

Sustainable Roofing	Percent of Total Roof Surface	Description
Solar Reflectance Index (SRI)	75% (min.)	SRI of 78 or higher for roof with slope \leq 2:12
		SRI of 29 or higher for roof with slope $>$ 2:12
Vegetated Roof	50% (min.)	--
Rainwater Collection System	50% (min.)	--
Combination	75% (min.)	A combination of vegetated roof with rainwater collection system and SRI1
¹ In compliance with SRI standards above.		

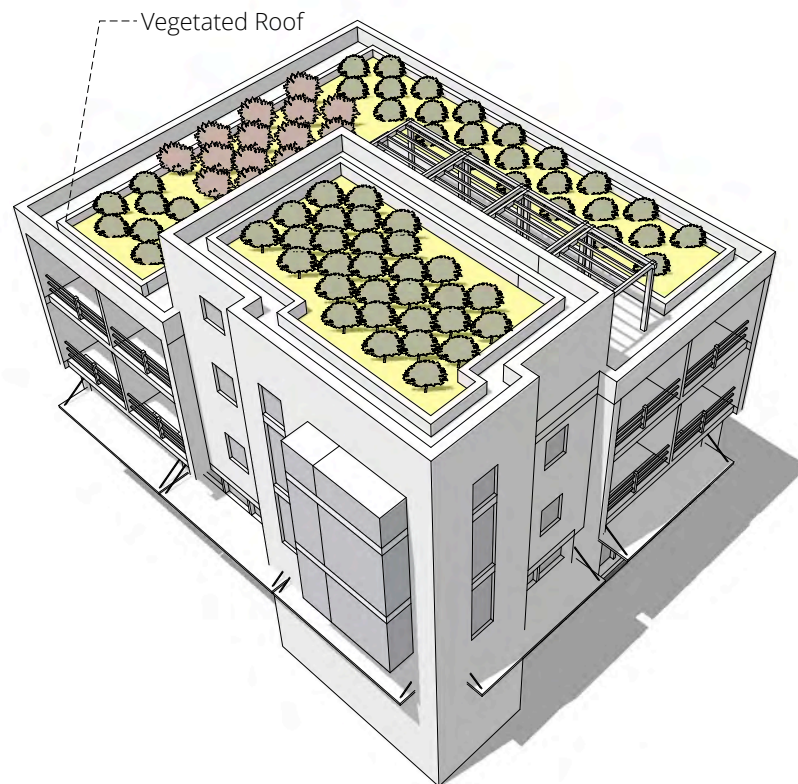


Figure 23-4E-8060(E) Sustainable Roofing

(E) Alternatives to Design Options

- (1) Large Single-Story Buildings.** A single-story commercial building that is 100,000 square feet or more in size may elect as a matter of right to comply with the following standards:
- (a) The building facade must consist of 75 percent masonry (not including concrete blocks), excluding the window area and rear service area on sides visible to the public;
 - (b) The use of trademarked design features above 12 feet and the use of trademarked roof and parapet design features is prohibited;
 - (c) The building meets the “building facade articulation” requirements as defined in this Section;
 - (d) The building has 40 percent glazing on the front building facade and 25 percent glazing and cutouts on each side visible to the public with a Visible Transmittance (VT) of 0.6 or higher; and
 - (e) The building has a Green Building rating of at least two stars.
- (2) Pad-site Buildings with Drive-In and/or Drive-Through Services.** A pad-site building with a drive-in and/or drive-through services, or a single-use drive-in use may comply with the following standards:
- (a) The use of trademarked design features (not including signs or paint colors) above 12 feet is prohibited; and
 - (b) The portion of the building below 12 feet consists of one of the following:
 - (i) Limestone;
 - (ii) Brick that has a different color than the trademarked brick color; or
 - (iii) For a building that occupies a pad or portion of a building within a development or shopping center, the building has similar design characteristics as the rest of the shopping center. This includes use of similar materials, patterns, rhythms, and proportions to the rest of the center.
 - (c) Pad sites shall not have any parking located between the building and the street.